



## **AGENDA**

### Regular Meeting

Canton Inland Wetlands and Watercourses Agency  
Thursday, October 13, 2016 at 7:00 pm  
Library Community Center, Room C  
40 Dyer Avenue, Canton, CT

#### **CALL TO ORDER:**

#### **ROLL CALL:**

#### **PUBLIC COMMENT NOT RELATED TO AGENDA ITEM:**

#### **NEW BUSINESS:**

1. **File #09-16-1145;** 81 West Simsbury Road; Assessor's Map 8; Parcel 5630081; Zone R-3; request to conduct land stabilization, foundation repair and install gravel driveway; Iwona Kasica, applicant/owner
2. **File #10-16-1133;** 88 Simonds Avenue; Assessor's Map 30; Parcel 4820088; Zone MCPF; request to expand and pave existing parking lot with option to add secondary access driveway; George Wallace, applicant; Town of Canton, owner
3. **File #10-16-1131;** 110 Albany Turnpike; Assessor's Map 36; Parcel 1010110; Zone B; request to repair a portion of force main sewer line; Roger Ignazio (WPCF), applicant; W/S Peak Canton Properties, LLC, owner

#### **OLD BUSINESS:**

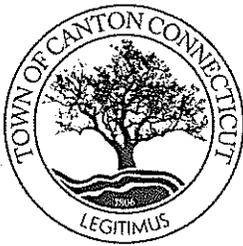
#### **OTHER BUSINESS:**

1. Approve Minutes of the September 8, 2016 Regular Meeting
2. Discussion of Bond Release Request for 708 Cherry Brook Road
3. Discussion of Recent Supreme Court Decision on Farm Roads
4. Discussion of Procedural Safety Guidelines
5. Applications Received After Agenda Posted
6. Authorized Agent
7. Any Other Recent Enforcement Issues
8. Staff Report

#### **ADJOURNMENT:**

#### **NOTE TO PERSONS WITH SPECIAL NEEDS:**

The Town of Canton does not discriminate on the basis of disability. Individuals who need auxiliary aids or an interpreter at a Town meeting must notify the appropriate department in advance of the meeting as soon as they are able.



TOWN OF CANTON  
4 Market Street  
P.O. Box 168  
Canton, CT 06019

CANTON TOWN HALL  
LAND USE OFFICE

SEP 29 2016

Land Use Department  
(860) 693-7856  
(860) 693-7884 (fax)

DATE OF RECEIPT IN OFFICE

OFFICE USE ONLY		
FILE #: <u>09-16-1145</u>	FEE AMOUNT: <u>\$160.00</u>	CASH / <u>CHECK</u> # <u>1222</u>
DATE SUBMITTED: <u>9/29/16</u>		

**INLAND WETLANDS AND WATERCOURSES AGENCY (IWWA) PERMIT APPLICATION**

APPLICATION FEE: \$160.00 (includes \$60.00 State Surcharge)  
Please make checks payable to "Town of Canton"

**THIS APPLICATION CANNOT BE APPROVED UNTIL ALL REQUIRED INFORMATION IS PROVIDED AND ANY ADDITIONAL REQUIRED APPROVALS ARE OBTAINED.**

PLEASE PRINT LEGIBLY

Property Address: 81 West Simsbury Rd Canton Ct.  
 Assessor's Map: 8 Parcel: 5630081 / Zone: AR 3 Lot Size: 1.5 ac  
 Land Record Reference to Deed Description: Volume: 425 Page: 627  
 Property Owner: Iwona Kasica Phone: 860 490 1313  
 Applicant/Agent: Iwona Kasica Phone: 860 490 1313  
 Mailing Address: 550 Cherry Brook Rd Canton CT 06019  
 Email Address: IKONAKASICA@YAHOO.COM  
 Contractor/Consultant: work done by owner Phone: 860 490 1313  
 Mailing Address: 550 Cherry Brook Rd Canton Ct 06019  
 Email Address: IKONAKASICA@YAHOO.COM

Describe existing uses: Residential

Describe proposed activity/purpose: Stabilize soil banks by covering with large stones from area immediately east of house. Repair footings, (continued)  
 Describe how wetlands and watercourses will be disturbed: No work will be done in wetlands, protection for silt in place, no change in watercourses.

Quantify earthwork in regulated area: Volume: 30 yards  
 Depth: approx. 60", 12" for drains  
 Slope: 15° or less

Total area of materials moved/removed/disturbed: 2,000 sq. feet Percent of total area: 3.06 %

Foundation by excavating along foundation walls of garage and rear of house. Excavate for concrete piers to add carport, deck and small addition connecting garage and house. Adding gravel to existing drive and new circular turnaround. Install west draining pipes for gutter system.

**SIGNIFICANT ACTIVITY INFORMATION**

**Complete this portion if your proposal is considered to be significant pursuant to Section 2.1 cc of the Canton IWWA Regulations. If you consider that your activity is not a Significant Activity, proceed to the signature page. All others complete this application in full. (Final determination of significance is reserved to the Wetlands Agency).**

1. Describe further the general character of the land in sufficient detail to characterize the wetlands and watercourses, including soil types. Refer to any plans that may be enclosed: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
2. State the function that the wetlands/watercourses currently serve and the effect that the proposed activity may have on that function. Those functions should include surface and ground water quality, flood control, and wildlife habitat: \_\_\_\_\_  
\_\_\_\_\_
3. State in more detail or by specific locations, depths to which removal or deposition operations are proposed and the percent of slope, including kinds of materials removed and/or deposited and sides of channels or excavations resulting from removal or filling operations: \_\_\_\_\_  
\_\_\_\_\_
4. State manner in which material will be removed or deposited and /or in which any structure will be erected, and/or use carried out, including a description of the nature of the use proposed: \_\_\_\_\_  
\_\_\_\_\_
5. State the anticipated time and sequence of construction and length of construction period(s): \_\_\_\_\_  
\_\_\_\_\_
6. List (or attach on a separate sheet) the titles of site plans, drawings, and cross-sections, with latest revision dates and any other reports that are part of this application and are accompanying this form: \_\_\_\_\_  
\_\_\_\_\_
7. List (or attach on a separate sheet) all abutting property owners and downstream and down -gradient property owners as may be required. Give both names and addresses: \_\_\_\_\_  
\_\_\_\_\_
8. Identify previous permits or certificates for existing activities on the property giving name and current address and phone number of the permit holder, dates of issuance and expiration of the permit, and the agency file number: \_\_\_\_\_  
\_\_\_\_\_

**SUBMIT PLANS IN THE FOLLOWING FORMATS ONLY:**

1. 24" x 36"
2. 18" x 24"
3. 12" X 18"

Attach a site plan scaled at sufficient detail to show existing and proposed conditions, including maximum building areas relative to regulated areas, measures proposed to mitigate potential adverse impacts and a listing of soil types.

If considered a significant activity, you may be required to attach maps at prescribed scales showing the location of proposed activities, adjacent lands and regulated areas, upstream/downstream areas, property lines, roads and drives, existing buildings and utilities, topography, published and or found soil survey types, wetlands limits, watercourses and buffer areas, existing open space lands and private/public conservation easements, and types of vegetative cover. Consult the regulations for details.

Discuss why this proposal was chosen over any alternatives. List all alternatives (use separate sheet if necessary): Placing stones on banks of soil will be an instant solution to possible erosion, compared to grass rooting over time. Gravel added to drive will reduce soil disturbance from car use. Repair of footings and foundations has no feasible alternative. Buried gutter runoff pipes will be least likely to fail.

OWNER'S CONSENTING SIGNATURE:

The undersigned, as owner of the property, hereby consents to necessary and proper inspections of the property that is subject to this application by agents of the Canton Inlands Wetlands and Watercourses Agency at reasonable times, both before and after a final decision has been issued by this Agency.

*P. Kasico*  
Signature

09-29-16  
Date

APPLICANT'S SIGNATURE:

The undersigned is familiar with all of the information provided in this application and is aware that any permit obtained through deception, or inaccurate or misleading information, is subject to revocation. The applicant further understands that any violation of any provision of a permit may result in orders to cease and desist from any and all work at the site. If an agent's name has been specified as the primary contact person on the front of this application, the applicant authorized that agent to act on his/her behalf before the Canton Inland Wetlands and Watercourses Agency in matters regarding this application.

*P. Kasico*  
Signature

09-29-16  
Date



IWONA KASICA  
550 CHERRY BROOK RD  
CANTON, CT 06019

1222

51-7010/2111  
BRANCH 101

9/29/16

Date

Pay to the Order of Town of Canton

\$160<sup>00</sup>/<sub>100</sub>

One hundred sixty

Dollars



Security  
PRINTED ON  
RECYCLED  
PAPER



Webster Bank

WebsterOnline.com

For Wetlands off.

Iwona Kasica

⑆ 2117010⑆ 10 0021509757⑈ 1222

MP

**Property at 81 WEST SIMSBURY ROAD**

Owner Administrative Information  
 KASICA IWONA  
 81 WEST SIMSBURY ROAD  
 CANTON, CT 06019

**Location Information**

Clerk Map: 00000 Parcel: 5630081 Map: 8/563/0081 Zone: AR-3 Call Back: 627  
 Exemptions: Amount: 64,680  
 Sale date: May/02/2016  
 Sale price: 91000  
 Sale valid: Values: NO  
 Mkt value: 187,403  
 Mkt/sale: 2.0594  
 Assmt/sale: 1.4415

Assmt category	Qty	Amount	Exempt	Utilities	Pub Water	NO Well	YES	NO Septic	YES	Net assessment
11- Res Land	1.50	66,500								
13- Res Bldg	1.00	64,680								
<b>Summary</b>		<b>131,180</b>								
Total assessments		131,180								
Total exemptions		0								
Net assessment		131,180								

**Land Information**

Land Type	Acres	Rate	Adj Factor	Infl Fact	Value
House Lot	1.50	95,000	1.00	0.00	95,000
<b>Acres</b>	<b>1.50</b>				<b>95,000</b>

**Residential Dwelling Information**

Subject	Description	Value
Living Units	Single Family	95,000
Total Rooms	4 Full Baths	
Bedrooms	2 Half Baths	
Living area	800 Admtr'l fixtures	
Additional Living Area	0 Finish bsmt sz	
GLA	800	
<b>Special Features</b>		
FP WB Stacks	1	
Garage Cars	1	
Actual Year Built:	1947	

Style	Description	Value
Ranch	Wood Shingles	
Exterior Walls	Asphalt	
Roof Material	Gable	
Roof Type	Fourd Concrete	
Foundation	Plaster	
Interior Walls	Softwood	
Floors	HW	
Heating System	Oil	
Fuel		
Attic	C	
Grade	800	
Bsmt Garage		
Basement Area		
Bsmt Room Style		
Air Condition Type		
AC %	0	
Exterior Contd	Good	

**Building Valuation Summary**

Item Description	Quantity	Total Value
Base Rate	800	108,000
Basement	800	12,400
Fireplace Masonry Chimney	1	3,000
Fireplace Openings	1	3,000
Full Baths	1	5,000
Value Before Depr.	0	131,400
Depr/Adjust Amount	0	64,097
Final Value (After Depr)	0	67,303

Functional Dep	Economical Dep	Physical Dep	Grade Factor	Value
0	0	35	0	0
Type / Construction	Area			
Canopy	28			400
Frame Garage	360			12,500
Enclosed Porch	70			4,700
Open Frame Porch	174			7,500
<b>70% Value</b>	<b>64,682</b>	<b>Total Attached Components</b>	<b>92,403</b>	
<b>Total Building Value</b>				

Type / Construction	Yr Built	Class	Condition	Length	Width	Area	Value
70% Value	64,682	Total Attached Components	25,100				
Total Building Value			92,403				

Card 1 of 1

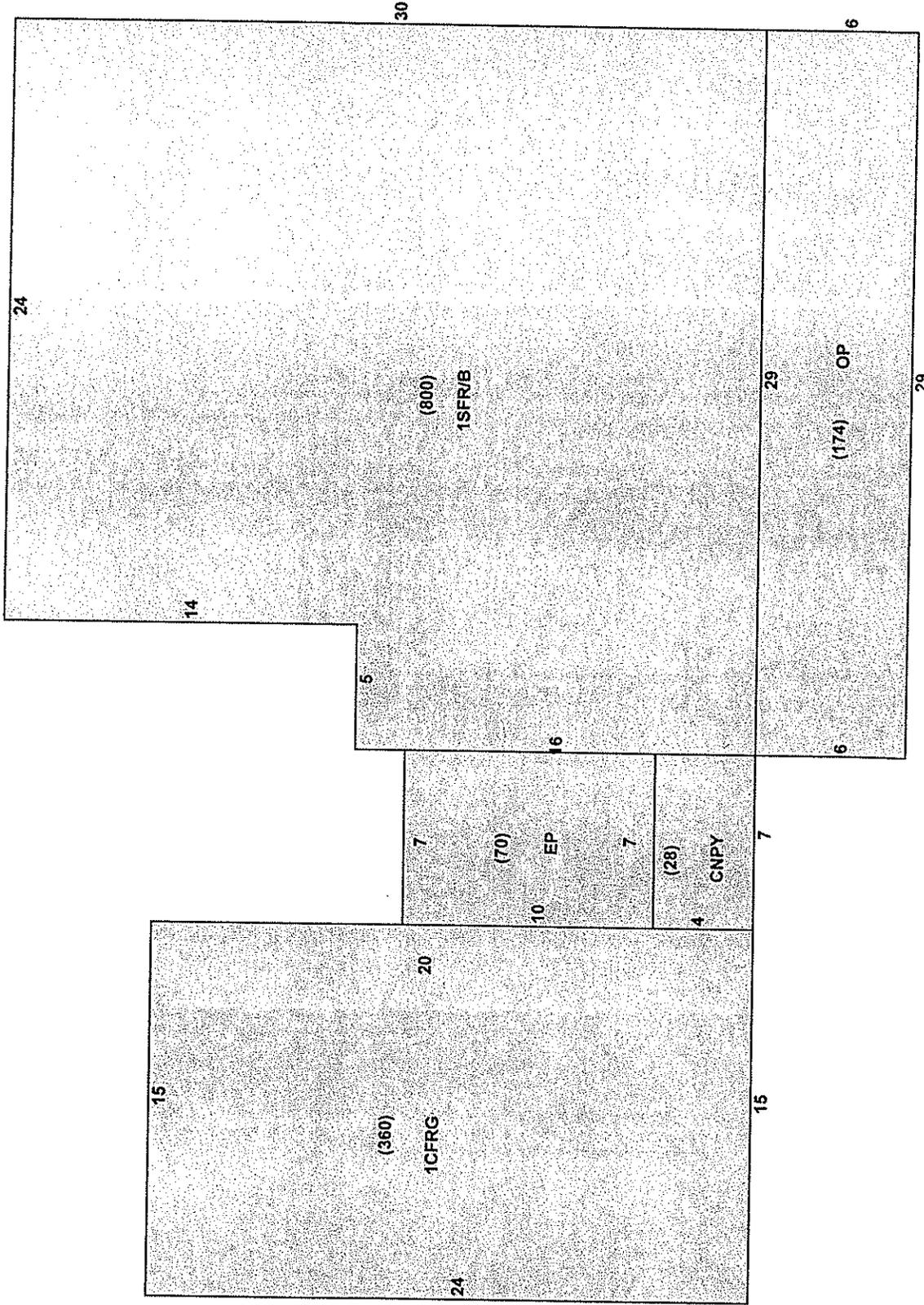
Town of Canton Residential Property Card

Property at 81 WEST SIMSBURY ROAD

Account 5630081

Printed

08/11/2016



14

15

(360)

1CFRG

24

7

(70)

EP

7

(28)

CNPY

4

15

5

(800)

1SFR/B

30

29

(174) OP

6

29

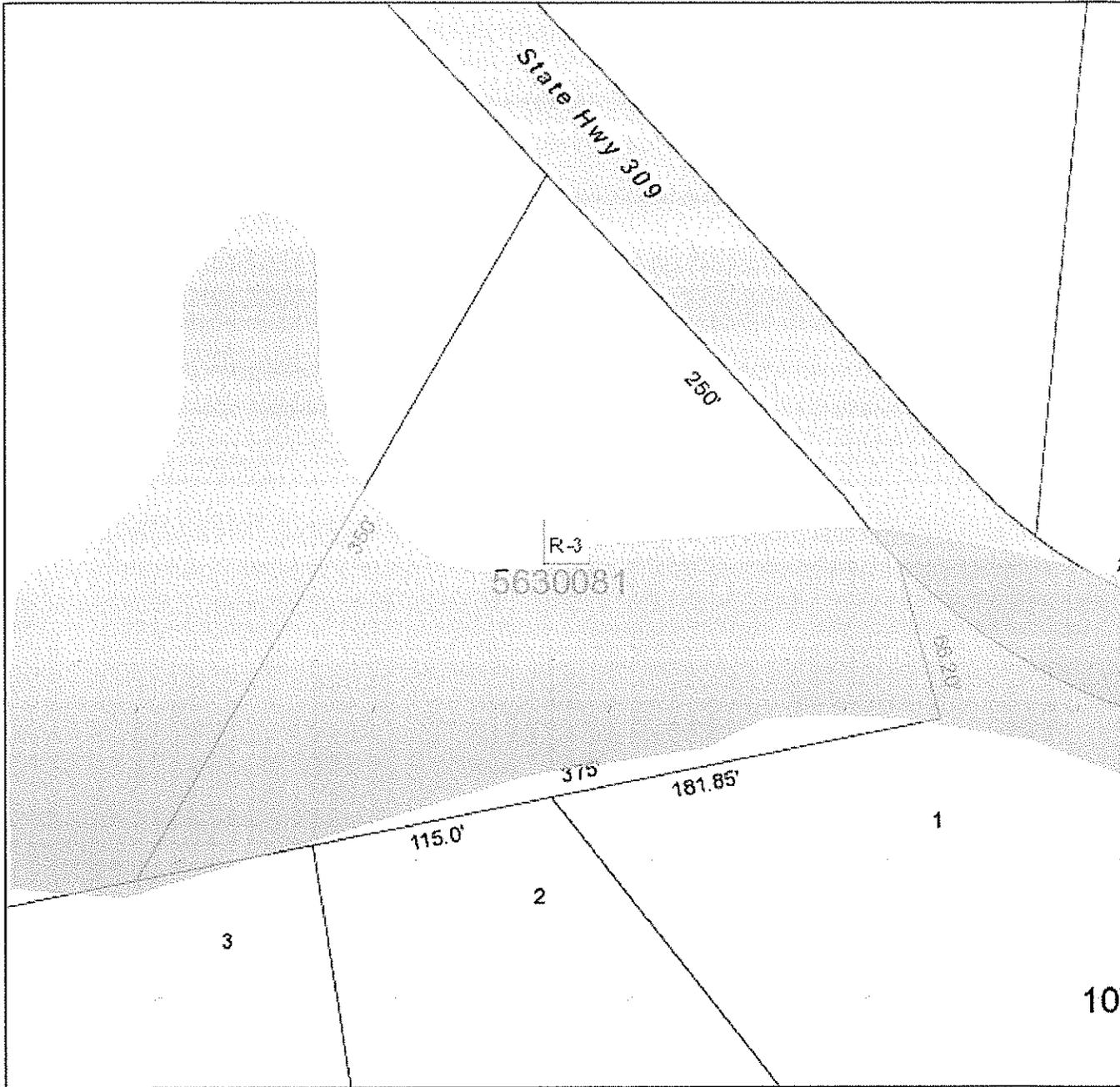
6

# Town of Canton

Geographic Information System (GIS)



Date Printed: 9/29/2016



### MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Canton and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 75 feet



# Town of Canton

Geographic Information System (GIS)



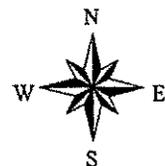
Date Printed: 9/29/2016



## **MAP DISCLAIMER - NOTICE OF LIABILITY**

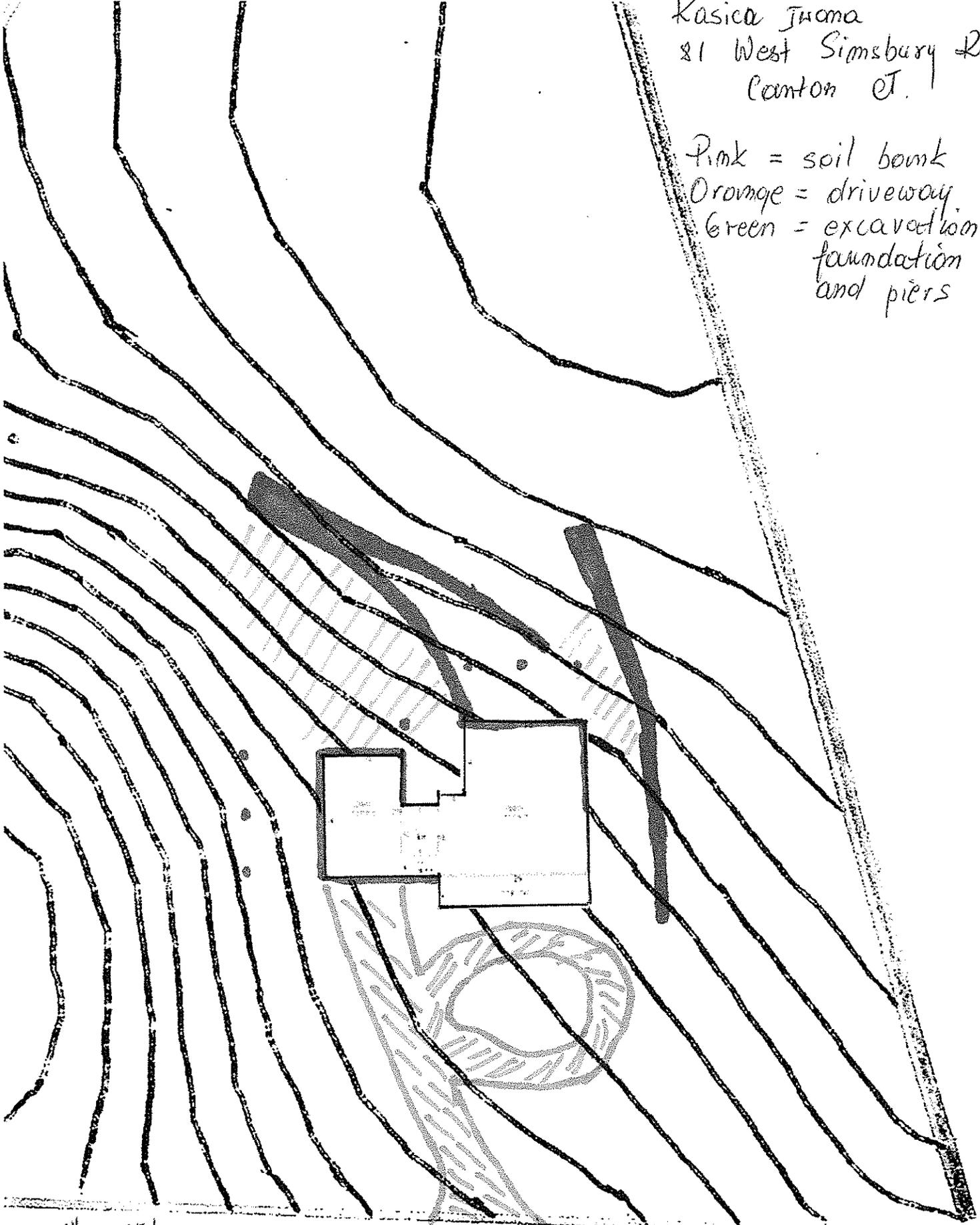
This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Canton and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 75 feet



Kasica Juoma  
81 West Simsbury Rd  
Canton Ct.

Pink = soil bank  
Orange = driveway  
Green = excavation for  
foundation repair  
and piers



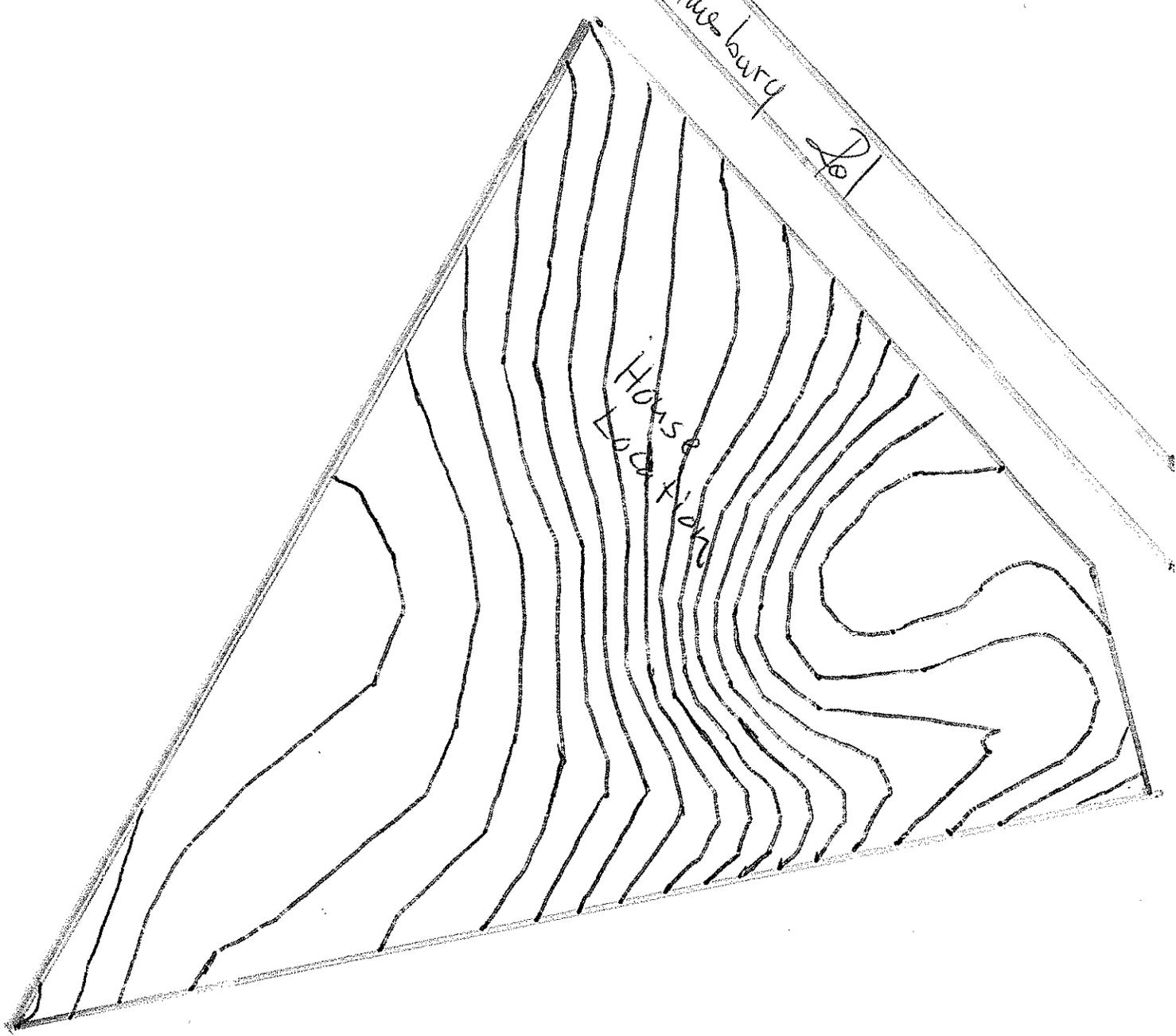
1" = 25'

West Simsbury Rd

IWONA CASICA  
81 West Simsbury Rd  
Canton

West Simsbury Rd

House  
Location



1" = 50'



**DRAFT MINUTES**

Regular Meeting

Canton Inland Wetlands and Watercourses Agency

Thursday, September 8, 2016 at 7:00 pm

Library Community Center, Room F

40 Dyer Avenue, Canton, CT

**CALL TO ORDER** – The Regular Meeting of September 8, 2016 was called to order at 7:03 p.m.

**ROLL CALL** – Chairman David Shepard, Al Bombessei, Eric Henry (Alternate), David Rosenfeld (Alternate), David Sinish and Rich Van de Bogart

**ABSENT** – Robert Bahre

**ALSO PRESENT** – Assistant Town Planner Emily Anyzeski and Recording Secretary Jennifer Scott

E. Henry was seated as a Regular Member by D. Shepard.

A quorum of the agency is present.

**PUBLIC COMMENT NOT RELATED TO AGENDA ITEM** – None

**OLD BUSINESS** – None

**NEW BUSINESS**

1. **File #09-16-1143; 81 West Simsbury Road; Assessor's Map 8; Parcel 5630081; Zone R-3; Show Cause Hearing for Cease and Desist of all regulated activities on site; Iwona Kasica, owner**

Mr. Shepard disclosed that he received a phone call from Town staff regarding this item and was aware of some of the details before this evening's meeting. Iwona Kasica, owner and her husband Edward Kasica were in attendance for the discussion of this case. The members were presented with several photographs of the site; some were captured by Ms. Anyzeski and others by the property owner.

Ms. Anyzeski provided a quick history of the case for the members. She said that she was notified that there had been significant clearing at the property in question. She visited the site with the Town Building Inspector and confirmed that considerable clearing had taken place on the sides and at the rear of the property. Ms. Anyzeski presented aerials to the members which show a large swatch of state designated wetlands at the rear of the property. She added that the location of the house is within the 100' Upland Review Area surrounding the wetlands boundary. Ms. Anyzeski stated that from her observation, it appeared that clearing and filling had occurred in both the wetlands and Upland Review Area. Because the area is protected, these activities are regulated and require approval from herself and the IWWA.

Mr. Shepard informed the group that the basis of a Cease and Desist order is if work has been done that appears to violate wetlands regulations and no permit has been issued or if work is done in

51 violation of a permit. Mr. Shepard said that there is probable cause in this case that a violation has  
52 occurred as tree cutting and filling are both regulated activities in the wetlands and URA. He asked  
53 Ms. Kasica for her input on the situation.  
54

55 Ms. Kasica advised that they had taken out some dead trees around her home and others were  
56 removed at the request of her homeowner's insurance company. She said that she was not aware  
57 her property was in a wetlands area or that she had done anything wrong until she received the  
58 violation letter. Ms. Kasica stated that they cleared most of the property on their own with some help  
59 from family. Mr. Kasica added that friends of theirs did come out with a boom truck to help remove  
60 some of the bigger trees in the front. Mr. Shepard commented that there is no excuse for a  
61 professional to not have ensured regulatory compliance before performing any outdoor work of this  
62 kind.  
63

64 Mr. Shepard explained that wetlands are defined as a poorly drained or very poorly drained soil type.  
65 He continued saying that the Wetlands and Watercourses Act was passed because the legislature  
66 made the determination that wetlands and watercourses are a public resource. Doing work in close  
67 proximity to them can put loose soils, considered to be a type of pollution, into brooks, streams, etc.  
68 He said that there are certain ways to perform work to protect the public resource. He explained that  
69 tree cutting and changing the grade of the ground by filling can redirect water from the course it would  
70 naturally move. This could cause fairly significant change or disruption to a public resource. He said  
71 that he sought to educate the owners on the potential impacts of the work they have already done  
72 and the work they plan to do down the road. He said that he doesn't disagree that there may have  
73 been a need to take the trees down, but they should have filed an application and gotten approval  
74 from the Town before doing so. He stated that the site is now what they consider "open" because  
75 trees that were once there drawing water are gone, there is no grass growing to hold the soil, and the  
76 grade has been changed making them uncertain where water will go. Mr. Shepard said that an order  
77 in this case would not have the intention of being punitive. He said that there is an "open" site that is  
78 sloped and something has to be done to tighten it up.  
79

80 After Mr. Shepard asked for the other members' thoughts, Mr. Sinish said he is very dismayed by the  
81 activities performed on the property. While he understands the homeowner's ignorance to the laws,  
82 he believes a professional should have been aware. He said that with an "open" site, any  
83 precipitation could cause erosion. The members were in agreement that something has to be done to  
84 protect the site so that the soil does not runoff into a watercourse or a roadway. They determined  
85 that the owner must submit an application with the Town for the work they have completed already.  
86 They also discussed different possibilities for how to stabilize the site including seeding and/or  
87 hydroseeding for grass and placing hay bales or silt fencing as a temporary sediment control device.  
88

89 Mr. Kasica provided some additional details about the work that was performed at the property. He  
90 stated that they leveled and raked the front so they could create a decent driveway and yard. He  
91 discussed the types of trees that were removed including several large trees on the sides of the  
92 house that were safety concerns, some large pines in the front and one large ash tree in the back.  
93 He explained that the fall of the land is from east to west with it being relatively steep along the back  
94 towards the wetlands.  
95

96 The group discussed the current driveway at the property. Mr. Kasica said that there is a cut in the  
97 road and an apron but there is no gravel. He said that it is basically soil compacted down by a car. It  
98 being a state road, Ms. Anyzeski recommended that the owner's inquire if they would need a  
99 driveway bond before moving forward with constructing a driveway.  
100

101 Mr. Shepard said that the members are trying to get an understanding of the property so they can ask  
102 the homeowner to take reasonable action to stabilize it. Mr. Kasica advised the members of a sloped  
103 area in the back yard where they had placed some large boulders in order to prevent erosion. He  
104 said they would like to add more boulders in order to further secure the land. Mr. Shepard explained  
105 that this would essentially be leveling the land which is a regulated activity in the wetlands and URA.

106 He advised that the agency is especially cautious of any work completed in such close proximity to  
107 the wetland boundary. He proposed seeding the area instead while their application is reviewed.  
108

109 Mr. Shepard explained that the IWWA could issue a Cease and Correct order in this case that would  
110 demand corrective measures be taken to stabilize the site now while the owner's full application for  
111 the work that has been done and the work sought to be done is pending. The group discussed which  
112 areas of the yard are most at risk. Mr. and Ms. Kasica informed the members of the steps they've  
113 already taken to try and prevent erosion on the property including hay bales, wood chips and using  
114 large boulders as fill. Ms. Kasica added that they left the roots to the large pines they took down in  
115 the ground. The members discussed some options to reasonably stabilize the site within the next 30  
116 days before winter and the potential for snow approaches. They discussed the benefits and  
117 drawbacks of hiring a contractor to hydroseed the property. While it would get a lot of grass up  
118 quickly to hold the yard together, there is the possibility of contractor delays. In addition, the owner  
119 has already purchased a specific type of grass seed for the front yard that she had intended on  
120 planting soon anyway. Mr. Kasica stated that he has experience planting grass and he knows how to  
121 get it growing quickly. The homeowner would like to do the seeding and they believe it would be  
122 done faster and have a better result than hydroseeding. The group discussed the possibility of wood  
123 chipping the whole front yard, installing additional hay bales in the back yard, installing a perimeter of  
124 hay bales, putting up silt fencing, and seeding the back yard. Ms. Kasica expressed concern that  
125 grass may not grow in the back because of the rock filled terrain.  
126

127 The members noted that they can already see channeling and erosion starting to occur on the  
128 property from the photographs presented. They discussed where seeding in the back would need to  
129 occur and where exactly additional hay bales should be placed. Once the hay bales are placed, Ms.  
130 Anyzeski can go out and verify they are in the right spot and determine if they should be staked.  
131

132 It was recommended that the homeowner come up with a solid plan before completing their  
133 application for future improvements and consider hiring professionals to assist them so that the work  
134 is done properly.  
135

136 **MOTION:** D. Shepard moved that for File#09-16-1143; 81 West Simsbury Road; Assessor's Map 8;  
137 Parcel 5630081; Zone R-3; Show Cause Hearing for Cease and Desist of all regulated activities on site;  
138 Iwona Kasica, owner be continued and modified in the following ways:  
139

- 140 1. Owner is directed to have the front yard seeded for grass within 72 hours of this meeting.
- 141 2. Owner is directed in the back yard to place a line of hay bales at the toe of the slope that was  
142 created from the terrace.
- 143 3. Owner is directed to have the back yard seeded for grass within 72 hours after the expiration of  
144 the deadline to seed the front yard, or within 6 days of this meeting.
- 145 4. Owner is directed to file an application with the Town for the regulated work already completed  
146 and for any additional regulated work they intend on completing moving forward.
- 147 5. Upon placing the hay bales, Owner is directed to notify the Land Use office for inspection the  
148 same day.  
149

150 D. Sinish seconded the motion. The motion passed unanimously, 5-0-0.  
151

## 152 OTHER BUSINESS

### 153 1. Approve Minutes of July 14, 2016 Regular Meeting

154 **MOTION:** D. Shepard moved to approve the minutes of the July 14, 2016 Regular Meeting as amended.  
155

156 E. Henry seconded the motion. The motion passed, 3-0-2 with R. Van de Bogart and D. Sinish abstaining.  
157

### 158 2. Applications Received After Agenda Posted - None

### 159 3. Authorized Agent 160 161

162  
163 **File #08-16-1142AA**; 60 Secret Lake Rd; Assessor's Map 36; Parcel 4670060; Zone R-1;  
164 Construction of a deck in the front yard of a single family home within the Upland Review Area; Jeff  
165 Dunbar, applicant/owner  
166

167 Ms. Anyzeski reported that she received an application through the Zoning Department for the  
168 construction of a deck at 60 Secret Lake Road. In her role as Zoning Enforcement Officer, she pulled  
169 the map for the property and noticed that there are wetlands located about 80' from the edge of the  
170 proposed deck to the rear of the site. She said that the deck will be about 15-18' long and within the  
171 Upland Review Area. The front yard where the deck will be constructed is flat and down hill from the  
172 URA and the property slopes upwards in the back yard. She said it was her determination that as  
173 long as the materials and equipment are stored outside the URA, she did not consider the  
174 construction of the deck to be a significant threat to the area. The members were presented with  
175 photos of the property taken by Ms. Anyzeski on her recent visit to the site.  
176

#### 177 **4. Any Other Recent Enforcement Issues** 178

179 Ms. Anyzeski reported that she had just learned about a large retaining wall that was installed at a  
180 property on West Simsbury Road. She said she has not had an opportunity yet to visit the site, but  
181 believes the address is 360 West Simsbury Road. She stated that she had heard from a member of  
182 the PZC that the wall is approximately 9' or 10' tall which could mean possible building, zoning, and  
183 wetlands issues. She said that she believes the Building Department would be the first to take  
184 enforcement action but wanted to inform the IWWA members that this may be an item that comes  
185 before them as well.  
186

187 Mr. Sinish requested an update on an item from their July meeting about a complaint that was  
188 received at DEEP stating that a generator had been running non-stop at 32 Cherry Brook Road. The  
189 complainant had concerns that water from the home was being pumped into the Cherry Brook. Ms.  
190 Anyzeski said that she called the property owner who stated that they were having some electrical  
191 issues at their home which was the reason that they had the generator running for days. Ms.  
192 Anyzeski reported that the Building Inspector went to the site and confirmed the electrical issues and  
193 no other complaints have been received since then. She said that she believes this matter has been  
194 fully resolved.  
195

196 Mr. Henry requested an update on the application at 115 Wright Road to replace an existing driveway  
197 culvert. Ms. Anyzeski said that one of the agency members was contracted to perform the work and  
198 he ensured that all of the conditions to the approval were properly met in a very timely manner.  
199

#### 200 **5. Staff Report** 201

##### 202 **a) Procedural Safety Guidelines** 203

204 Ms. Anyzeski said that she will include this as an agenda item as a reminder to the members to  
205 bring forth any suggestions for editing the regulations. Mr. Shepard said his inclination is not to  
206 hold a public hearing to change the regulations for just one item. His preference would be to wait  
207 until they have multiple changes being requested.  
208

##### 209 **b) Farm Roads Non-Exemption** 210

211 Ms. Anyzeski reported that the Supreme Court of CT has made a decision that farm roads are no  
212 longer exempt from the wetlands procedures. Previously, if a farm road was being used strictly  
213 for agricultural purposes you would not necessarily need a wetlands permit for it. She said that  
214 this is no longer the case to the apparent disappointment of many people.  
215

##### 216 **c) Army Corps General Permit Revisions** 217

218 Ms. Anyzeski said that the US Army Corps of Engineers replaced and revised the General Permit  
219 in July 2016. It will be reissued for 5 years effective in 2021. She said she does not believe  
220 much of it is applicable to Canton but wanted to make the members aware.

221  
222 **d) Bond release at 690-708 Cherry Brook Road**

223  
224 Ms. Anyzeski reported that they have received a request from the property owner of 708 Cherry  
225 Brook Road, Jerry Miller, to release a subdivision bond from 1993. She said that they are finding  
226 a lot of discrepancies with his request. Mr. Miller is stating that it is a wetlands agency bond from  
227 1993 while the Town's files reference a Planning Commission bond from 1999. She said that  
228 they need clarification from Mr. Miller because what he is requesting does not appear to exist. In  
229 the event Mr. Miller has some documentation that the Town does not have, this matter may come  
230 before the IWWA. If it does, the agency would need to approve the release of the bond totaling  
231 approximately \$29,000. She said that her understanding is that the bond is being requested but  
232 not all of the conditions have been met.

233  
234 **e) Chairman Signature for Statewide Inland Wetlands and Watercourses Activity Reporting**  
235 **Requirements**

236  
237 Ms. Anyzeski explained that because of an error made in the Land Use office, the proper forms  
238 that supplement the wetlands applications have not been being submitted to DEEP. As a result,  
239 DEEP has requested that the Chairman provide his signature as proof that the IWWA has in fact  
240 processed applications in the past year.

241  
242 Mr. Shepard asked if there are any updates regarding the latest farm road controversy. Ms. Anyzeski  
243 replied that the Board of Selectmen agenda will be posted tomorrow that should answer a lot of  
244 questions.

245  
246 Mr. Shepard reported that a meeting took place on Wednesday, September 7<sup>th</sup> where members from all  
247 of the various Town boards come together. He said that he was not able to attend but that his  
248 understanding was that the purpose of the meeting was for reporting compliance with the Plan of  
249 Conservation and Development. He said that the POCD does not particularly apply to the IWWA. Ms.  
250 Anyzeski said that she did attend the meeting and provided a quick overview of what was discussed. She  
251 said if anyone is interested in the outcome, the recording of the meeting should be up the Town's website.

252  
253 **ADJOURNMENT**

254  
255 **MOTION:** D. Shepard moved to adjourn the Regular Meeting at 9:15 pm. A. Sinish seconded. The motion  
256 passed unanimously, 5-0-0.

257  
258 Respectfully Submitted,  
259 Jennifer Scott, Recording Secretary

260

Submitted to Land Use Office:

10/5/16

TOWN OF CANTON
Inland Wetlands and Watercourses Agency (IWINA)
APPLICATION FOR PERMIT

Office Use Only

File 10-16-1133

Fee: N/A

PAID: Cash [ ] Bank/Check # N/A

First Wetlands meeting date 10 13 16

Status: CANTON TOWN HALL LAND USE OFFICE

Second Wetlands meeting / /

Status: OCT 05 2016

Date Any Waivers Requested? Y [X] N [ ]

DATE OF RECEIPT IN OFFICE

Note: If this application is not completed in the proper form, it can be summarily rejected by the Agency

Applicant Name: Town of Canton - Department of Public Works

Address: 4 Market Street
Collinsville, Connecticut 06022-0168

Bus. Phone: 860-693-7855

Home Phone: N/A

Owner of Record: Town of Canton

Address: 4 Market Street
Collinsville, Connecticut 06022-0168

Bus. Phone: 860-693-7855

Home Phone: N/A

Contractor Name: Town of Canton

Bus. Address: 4 Market Street
Collinsville, Connecticut 06022-0168

Bus. Phone: 860-693-7855

Fax: N/A

Consultant Name: Town of Canton

Expertise: Engineering

Bus. Address: 4 Market Street
Collinsville, Connecticut 06022-0168

Bus. Phone: 860-693-7855

Fax: N/A

Site Description

Address: Millennium Field - Parking Lot - 88 Simonds Avenue

Assessors Map Lot 4820088 Recorded Volume 91 Page 135 Acreage 3.7 Zone AR-1

>>> Attach a location map or vicinity map at a scale of 1" = 1000' to help locate the property <<<

Describe Existing Uses: Gravel parking lot

Describe Proposed Activity/Purpose: Pave parking lot with added spaces on south side and mark out parking spaces with option to add an additional access driveway off of Simonds Avenue at the west end of the parking lot.

Describe How Wetlands and Watercourses Will Be Disturbed: No disturbance since work will be confined to the existing gravel area and south of the gravel area.

Quantify Earth Work in Regulated Area: Volume cu. ft. Depth of Fill ft. Slope

(Include materials moved/removed/disturbed) Area sq. ft. Percent of total area:

**SIGNIFICANT ACTIVITY INFORMATION**

Complete this portion if your proposal is considered to be significant pursuant to Section 2.1 cc of the Canton IWWA Regulations.

1. Describe further the general character of the land in sufficient detail to characterize the wetlands and watercourses, including soil types. Refer to any plans that may be enclosed: Wetlands are on the north side of the existing parking area.  
\_\_\_\_\_
2. State the function that the wetlands/watercourses currently serves and the effect that the proposed activity may have on that function. Those functions should include surface and ground water quality, flood control, and wildlife habitat: Proposed activity would consist paving the existing parking gravel area and adding some parking spaces on the south side of the lot with the option of adding an additional access driveway off of Simonds Avenue at the west end of the existing parking lot.  
\_\_\_\_\_
3. State in more detail or by specific locations, depths to which removal or deposition operations are proposed and the percent of slope, including kinds of materials removed and/or deposited and sides of channels or excavations resulting from removal or filling operations: Operation will be limited to regrading existing parking lot and creating additional spaces on the south side of the parking lot along with the option of adding an additional access driveway off of Simonds Avenue at west end.  
\_\_\_\_\_
4. State manner in which material will be removed or deposited and for in which any structure will be erected, and/or use carried out, including a description of the nature of the use proposed: Material added to the parking lot will be processed gravel and bituminous concrete pavement. Existing drainage will be used.  
\_\_\_\_\_  
\_\_\_\_\_
5. State the anticipated time and sequence of construction and length of construction period(s): Three (3) days – five (5) days maximum  
\_\_\_\_\_
6. List (or attach on a separate sheet) the titles of site plans, drawings, and cross-sections, with latest revision dates and any other reports that are part of this application and are accompanying this form: See "Millennium Field - Parking Lot Modifications – 88 Simonds Avenue" dated September 29, 2016  
\_\_\_\_\_  
\_\_\_\_\_
7. List (or attach on a separate sheet) all abutting property owners and downstream and down-gradient property owners as may be required. Give both names and addresses: Town property.  
\_\_\_\_\_  
\_\_\_\_\_
8. Identify previous permits or certificates for existing activities on the property giving name and current address and phone number of the permit holder, dates of issuance and expiration of the permit, and the agency file number: NA  
\_\_\_\_\_  
\_\_\_\_\_

**SUBMIT PLANS IN THE FOLLOWING FORMATS ONLY:**

1

- 1. 24" x 36"
- 2. 18" x 24"
- 3. 12" X 18"

Attach a site plan scaled at sufficient detail to show existing and proposed conditions, including maximum building areas relative to regulated areas, measures proposed to mitigate potential adverse impacts and a listing of soil types.

If considered a significant activity, you may be required to attach maps at prescribed scales showing the location of proposed activities, adjacent lands and regulated areas, upstream/downstream areas, property lines, roads and drives, existing buildings and utilities, topography, published and or found soil survey types, wetlands limits, watercourses and buffer areas, existing open space lands and private/public conservation easements, and types of vegetative cover. Consult the regulations for details.

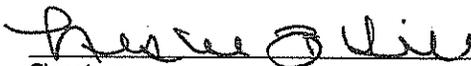
DISCUSS WHY THIS PROPOSAL WAS CHOSEN OVER ANY ALTERNATIVES. LIST ALL ALTERNATIVES (use separate sheet if necessary):

In lieu of expanding the gravel parking area closer to the wetlands/swamp area to the north to gain parking spaces, it was decided to pave the existing gravel parking lot surface and add ten (10) spaces on the south side along with an option of adding an additional access driveway off of Simonds Avenue at the south end

of the parking area that would allow for reducing the width of the parking lot by five (5') feet [from 65' to 60']. By painting the parking spaces permanently there would be room for more spaces than having unmarked spaces on the gravel surface because of how vehicle operators will park leaving an excess of room between vehicles.

OWNER'S CONSENTING SIGNATURE:

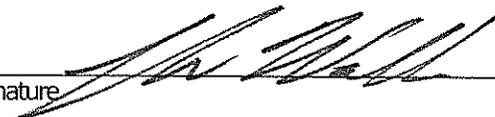
The undersigned, as owner of the property, hereby consents to necessary and proper inspections of the property that is subject to this application by agents of the Canton Intends Wetlands and Watercourses Agency at reasonable times, both before and after a final decision has been issued by this Agency.

  
Signature

10/5/16  
Date

APPLICANT'S SIGNATURE:

The undersigned is familiar with all of the information provided in this application and is aware that any permit obtained through deception, or inaccurate or misleading information, is subject to revocation. The applicant further understands that any violation of any provision of a permit may result in orders to cease and desist from any and all work at the site. If an agent's name has been specified as the primary contact person on the front of this application, the applicant authorized that agent to act on his/her behalf before the Canton Inland Wetlands and Watercourses Agency in matters regarding this application.

  
Signature

10/5/16  
Date

REQUEST FOR WAIVERS  
(per1WINA Regulations effective 09/01/11)

In accordance with Section 7.11 of the Canton Inland Wetlands and Watercourses Agency Regulations, a request is made that the following application requirements be waived (check those section numbers requested for waiver):

- X Section 7.4d (The geographical location and description of the land in sufficient detail to allow identification of the properties, the wetlands, the watercourses, the area to be disturbed — waiving only identification of soil types and wetland vegetation).
  
- X Section 7.4e (3) (The purpose and description of the activity, proposed E&S controls management practices, mitigation measures — waiving only identification of measures to restore, enhance and create productive wetland or watercourse resources)
  
- X Section 7.4 g (Site plan on a scale of at least 1" = 40' showing proposed activity, existing and proposed conditions relating to wetlands and watercourses, associated or inevitable activity that may impact wetlands or watercourse).
  
- X Section 7.4 h (Names and addresses of land owners within 100 feet of property boundary) N/A if significant impact activity determined or public hearing called.
  
- X Section 7.4m (Any other information the Agency deems necessary)
  
- X Section 7.5 f (Analysis of chemical or physical characteristics of any fill material).

The undersigned, as owner or duly authorized applicant, has reviewed the above information provided to the Canton Inland Wetlands and Watercourses Agency and certifies it is true and correct to the best of his/her knowledge and belief.

Signature  \_\_\_\_\_

Date 10/5/16 \_\_\_\_\_

## Construction Sequence

### Millennium Field – Parking Lot Modifications

Dated - September 29, 2016

For the parking lot modifications proposed for Millennium Field located at 88 Simonds Avenue; the proposed construction sequence will be as follows:

1. First, silt fence will be installed on the down slope side [north side] of the areas that will be disturbed for the parking lot modifications;
2. No excavation is planned for the site, just stripping loam and grass for added parking spaces along south side of the parking lot and for the optional added access driveway off of Simonds Avenue at the west end. Remainder of work will consist of only nominal filling and/or slight regrading of the existing gravel parking lot site;
3. No materials will be stockpiled on the site, any fill materials brought onto the site will be spread out and graded off immediately;
4. As soon as the modified parking area is established and/or the graded additional access driveway is created, the regraded areas [which will be graded to drain to the existing catch basins and/or sheet flow to adjacent areas] will be paved with bituminous concrete followed by loaming backfilling along the edges of the new bituminous concrete;
5. Site will be continually monitored during the construction and after the construction to insure no wash outs occur and the surfaces have been adequately stabilized;
6. Once the Town is assured that all disturbed areas have been stabilized and grass has been established on all loamed areas, the silt fence will be removed.

# Town of Canton

Geographic Information System (GIS)



Date Printed: 10/5/2016



### MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Canton and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 150 feet



# Town of Canton

Geographic Information System (GIS)



Date Printed: 10/5/2016



### **MAP DISCLAIMER - NOTICE OF LIABILITY**

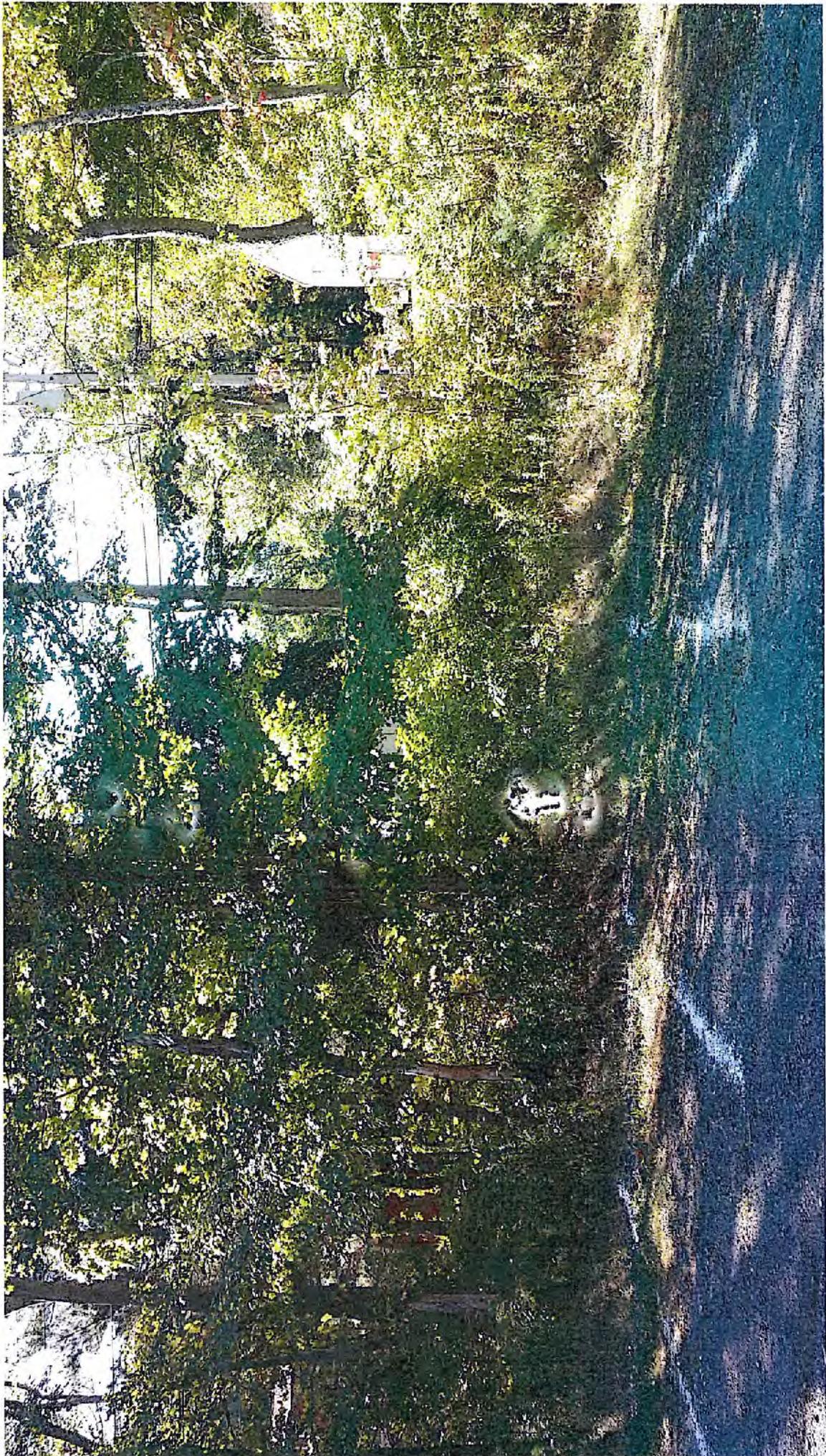
This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Canton and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 100 feet





*Ph. 1.*



Ph2.



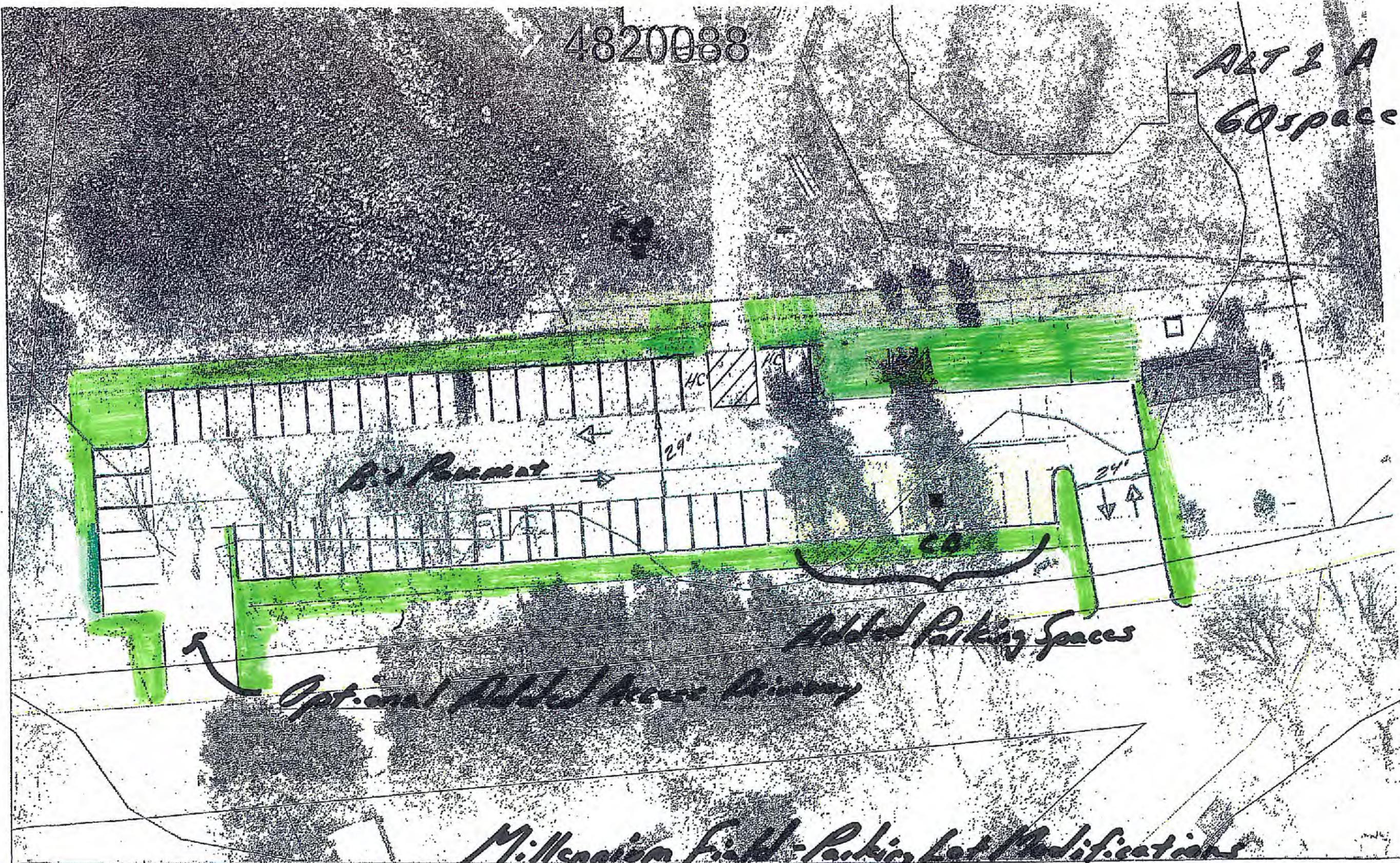
Pk3.



*Pl. 4.*

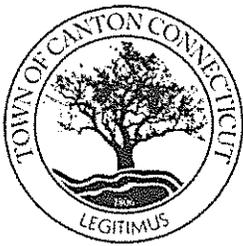
4820088

ALT 2 A  
60 spaces



Opt. and New Driveway  
Added Parking Spaces

Millenium Field - Parking Lot Modifications  
September 29, 2016  
88 Simonds Avenue  
1" = 30'  
70 Spaces



TOWN OF CANTON  
4 Market Street  
P.O. Box 168  
Canton, CT 06019

CANTON TOWN HALL  
LAND USE OFFICE

OCT 05 2016

Land Use Department  
(860) 693-7856  
(860) 693-7884 (fax)

DATE OF RECEIPT IN OFFICE

OFFICE USE ONLY		
FILE #: <u>10-16-1131</u>	FEE AMOUNT: <u>N/A</u>	CASH / CHECK <u>N/A</u>
DATE SUBMITTED: <u>10/5/16</u>		

**INLAND WETLANDS AND WATERCOURSES AGENCY (IWWA) PERMIT APPLICATION**

APPLICATION FEE: \$160.00 (includes \$60.00 State Surcharge)  
Please make checks payable to "Town of Canton"

**THIS APPLICATION CANNOT BE APPROVED UNTIL ALL REQUIRED INFORMATION IS PROVIDED AND ANY ADDITIONAL REQUIRED APPROVALS ARE OBTAINED.**

PLEASE PRINT LEGIBLY

Property Address: 110 Albany Turnpike  
 Assessor's Map: 36 Parcel: 1010110 Zone: B Lot Size: 124 acres  
 Land Record Reference to Deed Description: Volume: 285 Page: 557  
 Property Owner: W/S Peak Canton Properties LLC Phone: \_\_\_\_\_  
 Applicant/Agent: Roger Ignazio WAF Phone: 860-693-7867  
 Mailing Address: 4 Market ST PO Box 168  
 Email Address: ignazio@townofcanton.ct.org  
 Contractor/Consultant: Woodard + Curran Phone: 203-76-8871  
 Mailing Address: \_\_\_\_\_  
 Email Address: TRITCHIE@woodardcurran.com

Describe existing uses: Commercial / Retail Shopping Center

Describe proposed activity/purpose: Replacement of a portion of Force Main Sewer line

Describe how wetlands and watercourses will be disturbed: The intent is NOT to Disturb area

Quantify earthwork in regulated area: Volume: \_\_\_\_\_  
 Depth: \_\_\_\_\_  
 Slope: \_\_\_\_\_

Total area of materials moved/removed/disturbed: \_\_\_\_\_ Percent of total area: \_\_\_\_\_

**SIGNIFICANT ACTIVITY INFORMATION**

Complete this portion if your proposal is considered to be significant pursuant to Section 2.1 cc of the Canton IWWA Regulations. If you consider that your activity is not a Significant Activity, proceed to the signature page. All others complete this application in full. (Final determination of significance is reserved to the Wetlands Agency).

1. Describe further the general character of the land in sufficient detail to characterize the wetlands and watercourses, including soil types. Refer to any plans that may be enclosed: \_\_\_\_\_  
\_\_\_\_\_
2. State the function that the wetlands/watercourses currently serve and the effect that the proposed activity may have on that function. Those functions should include surface and ground water quality, flood control, and wildlife habitat: \_\_\_\_\_  
\_\_\_\_\_
3. State in more detail or by specific locations, depths to which removal or deposition operations are proposed and the percent of slope, including kinds of materials removed and/or deposited and sides of channels or excavations resulting from removal or filling operations: \_\_\_\_\_  
\_\_\_\_\_
4. State manner in which material will be removed or deposited and /or in which any structure will be erected, and/or use carried out, including a description of the nature of the use proposed: \_\_\_\_\_  
Please See Maps
5. State the anticipated time and sequence of construction and length of construction period(s): \_\_\_\_\_  
Approximate 2 weeks Beginning - End
6. List (or attach on a separate sheet) the titles of site plans, drawings, and cross-sections, with latest revision dates and any other reports that are part of this application and are accompanying this form: \_\_\_\_\_  
Please See Electronic MAPS
7. List (or attach on a separate sheet) all abutting property owners and downstream and down -gradient property owners as may be required. Give both names and addresses: \_\_\_\_\_  
WIS Peak Canton Properties LLC owner
8. Identify previous permits or certificates for existing activities on the property giving name and current address and phone number of the permit holder, dates of issuance and expiration of the permit, and the agency file number: \_\_\_\_\_  
File # 07-16-1131

**SUBMIT PLANS IN THE FOLLOWING FORMATS ONLY:**

1. 24" x 36"
2. 18" x 24"
3. 12" X 18"

Attach a site plan scaled at sufficient detail to show existing and proposed conditions, including maximum building areas relative to regulated areas, measures proposed to mitigate potential adverse impacts and a listing of soil types.

If considered a significant activity, you may be required to attach maps at prescribed scales showing the location of proposed activities, adjacent lands and regulated areas, upstream/downstream areas, property lines, roads and drives, existing buildings and utilities, topography, published and or found soil survey types, wetlands limits, watercourses and buffer areas, existing open space lands and private/public conservation easements, and types of vegetative cover. Consult the regulations for details.

Discuss why this proposal was chosen over any alternatives. List all alternatives (use separate sheet if necessary):

This proposal minimizes the impact on the Brook in which the Force Main Path must utilize. Horizontal Directional Drilling will actually go under the Brook without disturbance of waterway.

**OWNER'S CONSENTING SIGNATURE:**

The undersigned, as owner of the property, hereby consents to necessary and proper inspections of the property that is subject to this application by agents of the Canton Inlands Wetlands and Watercourses Agency at reasonable times, both before and after a final decision has been issued by this Agency.

Please see email from Denise Robidoux; 10/5/16  
Signature Date

**APPLICANT'S SIGNATURE:**

The undersigned is familiar with all of the information provided in this application and is aware that any permit obtained through deception, or inaccurate or misleading information, is subject to revocation. The applicant further understands that any violation of any provision of a permit may result in orders to cease and desist from any and all work at the site. If an agent's name has been specified as the primary contact person on the front of this application, the applicant authorized that agent to act on his/her behalf before the Canton Inland Wetlands and Watercourses Agency in matters regarding this application.

Roger Gray  
Signature Date 10/03/2016

**REQUEST FOR WAIVERS**  
(Per IWWA Regulations effective 09/01/11)

In accordance with Section 7.11 of the Canton Inland Wetlands and Watercourses Agency Regulations, a request is made that the following application requirements be waived (check those section numbers requested for waiver):

\_\_\_\_\_ Section 7.4d (The geographical location and description of the land in sufficient detail to allow identification of the properties, the wetlands, the watercourses, the area to be disturbed – waiving only identification of soil types and wetland vegetation)

\_\_\_\_\_ Section 7.4e (3) (The purpose and description of the activity, proposed E&S controls management practices, mitigation measures – waiving only identification of measures to restore, enhance and create productive wetland or watercourse resources)

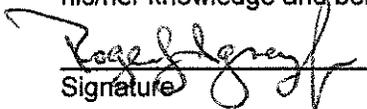
\_\_\_\_\_ Section 7.4 g (Site plan on a scale of at least 1" = 40' showing proposed activity, existing and proposed conditions relating to wetlands and watercourses, associated or inevitable activity that may impact wetlands or watercourse)

  X   Section 7.4 h (Names and addresses of land owners within 100 feet of property boundary) N/A if significant impact activity determined or public hearing called.

  X   Section 7.4m (Any other information the Agency deems necessary)

  X   Section 7.5 f (Analysis of chemical or physical characteristics of any fill material)

The undersigned, as owner or duly authorized applicant, has reviewed the above information provided to the Canton Inland Wetlands and Watercourses Agency and certifies it is true and correct to the best of his/her knowledge and belief.

  
Signature \_\_\_\_\_

  10/03/2016    
Date

## **Narducci, Renee**

---

**From:** Robidoux, Denise <Denise.Robidoux@wsdevelopment.com>  
**Sent:** Wednesday, October 05, 2016 11:39 AM  
**To:** Narducci, Renee; Anyzeski, Emily  
**Cc:** Ignazio, Roger; Curley, Jeff; Malone, Will; Whitney, John  
**Subject:** WS Peak Canton Properties - The Shoppes at Farmington Valley

I hereby give the Town of Canton Ct. W.P.C.F permission to file the application with Inland Wetlands for the force main replacement project occurring at W/S Peak Canton Properties LLC – The Shoppes at Farmington Valley – 110 Albany Turnpike, Canton, CT.

Denise L. Robidoux

WSDEVELOPMENT | THE SHOPPES AT FARMINGTON VALLEY  
DENISE L. ROBIDOUX  
GENERAL MANAGER

T 860 693 3059 M 860 798 2804  
F 860 693 3204

110 ALBANY TURNPIKE, SUITE 925 CANTON, CT 06019  
THESHOPPESATFARMINGTONVALLEY.COM  
WSDEVELOPMENT.COM

---

This message and any attachments may contain information that is confidential or protected. If you have received this in error, please notify us and delete this email; dissemination or copying of this message or associated files is prohibited. We take no responsibility for errors or omissions arising out of e-mail transmission. If verification is required, please request a hard copy. This message does not bind anyone; any views or opinions contained in this message are solely those of the author and do not necessarily represent those of the company.

# Town of Canton

Geographic Information System (GIS)



Date Printed: 10/5/2016



## **MAP DISCLAIMER - NOTICE OF LIABILITY**

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Canton and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 800 feet



# Town of Canton

Geographic Information System (GIS)



Date Printed: 10/5/2016



### **MAP DISCLAIMER - NOTICE OF LIABILITY**

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Canton and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 800 feet



# TOWN OF CANTON, CONNECTICUT WATER POLLUTION CONTROL FACILITY SEWER FORCE MAIN REPLACEMENT

## CONTRACT DRAWINGS

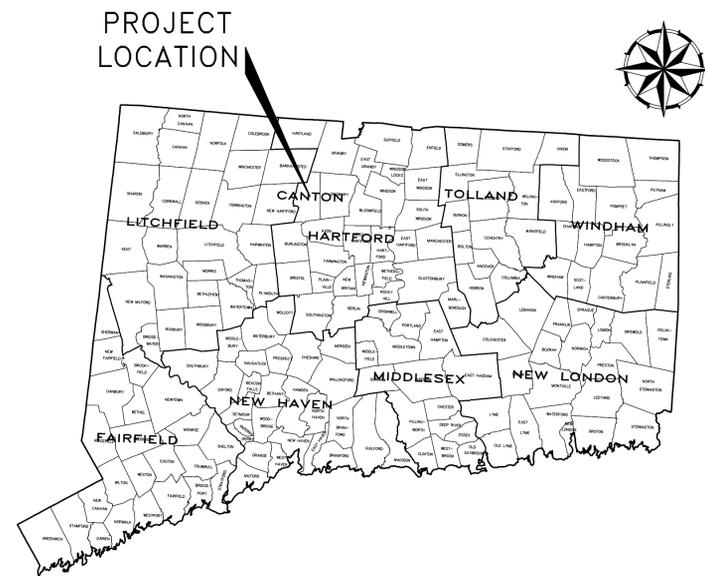
PROJECT NO. 222479.62

OCTOBER 2016

FOR IWWA APPROVAL ONLY  
NOT FOR CONSTRUCTION

### SHEET INDEX

- G-000 COVER SHEET
- G-001 GENERAL NOTES, ABBREVIATIONS & DETAILS
- C-100 PROPOSED FORCE MAIN PLAN & PROFILE
- C-500 DETAILS



PROJECT LOCATION MAP

50 0 50 100  
scale mile



1699 King Street, Suite 406 | Enfield, Connecticut 06082  
855.347.6788 | [www.woodardcurran.com](http://www.woodardcurran.com)

COMMITMENT & INTEGRITY DRIVE RESULTS



SOURCE: MAP DATA & IMAGERY, (C)2016 GOOGLE

SITE LOCATION MAP

1000 0 1000 2000  
scale feet

GENERAL NOTES:

- 1. TOPOGRAPHIC SURVEY DATA AND UTILITY SURVEY INFORMATION PROVIDED BY DUFOUR SURVEYING LLC DATED SEPTEMBER 2, 2016 FROM FIELD SURVEY AND PLANS OF RECORD.
2. WETLANDS WERE DELINEATED BY THOMAS PIETRAS OF PIETRAS ENVIRONMENTAL GROUP LLC ON AUGUST 19, 2016.
3. CONTRACTOR SHALL COORDINATE WITH OWNER AND PROVIDE ADEQUATE NOTICE PRIOR TO SCHEDULING WORK.
4. NOT ALL UTILITIES ARE SHOWN ON THE DRAWINGS. THOSE SHOWN ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION BY THE CONTRACTOR.
5. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE, ARE BASED UPON A COMPILATION OF PLANS OF RECORD AND FIELD SURVEY, DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL NOTIFY ALL UTILITIES TO ALLOW SUFFICIENT TIME FOR UTILITIES TO LOCATE AND MARK THE LOCATION OF ALL BURIED UTILITIES. CONTRACTOR SHALL ALSO CONTACT "DIG SAFE", TELEPHONE NO. (811) 888-344-7233. REPAIR OF ANY DAMAGED UTILITY WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND INCIDENTAL TO THE CONTRACT.
6. PROVIDE INSULATION BETWEEN FORCE MAIN AND STORM DRAIN/CULVERT CROSSINGS WHERE VERTICAL SEPARATION IS LESS THAN 3 FEET, OR AS DIRECTED BY ENGINEER.
7. PROVIDE THRUST BLOCKS AT ALL BENDS IN THE FORCE MAIN.
8. COORDINATE CONSTRUCTION ACTIVITY WITH THE PROPERTY MANAGER FOR THE SHOPPES AT FARMINGTON VALLEY, TOWN WATER POLLUTION CONTROL AUTHORITY, TOWN INLAND WETLANDS AND WATERCOURSES AGENCY, UTILITY COMPANIES, POLICE DEPARTMENTS AND OTHER AGENCIES AS NEEDED.
9. MAINTAIN TRAFFIC IN A SAFE MANNER AT ALL TIMES DURING CONSTRUCTION. MAKE EVERY EFFORT TO MAINTAIN CONTINUOUS TRAFFIC FLOW (MINIMUM OF ONE LANE) DURING CONSTRUCTION. DETOURS AND ROAD CLOSINGS REQUIRE COORDINATION AND CONSENT FROM THE SHOPPES AT FARMINGTON VALLEY PROPERTY MANAGER AND THE TOWN WATER POLLUTION CONTROL AUTHORITY. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING TRAFFIC MANAGEMENT PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROPERTY OWNER, POLICE DEPARTMENT AND WATER POLLUTION CONTROL AUTHORITY.
10. CONDUCT CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE INLAND WETLANDS AND WATERCOURSES AGENCY REQUIREMENTS STATED IN THE AGENCY'S CONDITIONS OF APPROVAL, WHICH IS APPENDED TO THE SPECIFICATIONS.
11. IN AREAS WHERE EROSION CONTROL BARRIER IS SHOWN ON DRAWING, THE BARRIER LINE SHALL BE CONSIDERED THE LIMIT OF WORK. NO WORK SHALL OCCUR OUTSIDE THESE BOUNDARIES.
12. RESTORE ALL AREAS DISTURBED BY CONTRACTOR'S OPERATIONS TO ORIGINAL FINISH (GRAVEL, PAVEMENT, GRASS, ETC.) UNLESS OTHERWISE NOTED ON THE DRAWINGS.
13. ALL CURB DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AND SHALL CONFORM TO CONTRACT SPECIFICATIONS.
14. EXISTING FACILITIES AND IMPROVEMENTS (I.E. GUARDRAILS, TREES, POLES, SIGNS, LIGHT POLES, ETC.) SHALL BE REMOVED AND RESET OR PROTECTED AS REQUIRED DURING CONSTRUCTION AND SHALL BE INCIDENTAL TO THE PROJECT.
15. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT EQUIPMENT FLUIDS FROM REACHING ANY WATER COURSE. ANY RELEASE SHALL BE REPORTED AND REMEDIATED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
16. CONTRACTOR SHALL PROVIDE AND INSTALL TREE PROTECTION, ROAD SIDE AND CROSS COUNTRY, AT THE DIRECTION OF THE ENGINEER.
17. AT THE DIRECTION OF THE ENGINEER, CONTRACTOR SHALL DEMOLISH TREES IF ROOTS HAVE BEEN SUBSTANTIALLY DAMAGED OR UPROOTED BY EXECUTION/ CONSTRUCTION.
18. REPLACE ANY DISTURBED DRAINAGE FEATURES IN KIND.
19. FORCE MAIN MUST MAINTAIN MINIMUM SEPARATION OF 18-INCHES FROM ALL EXISTING HYDRANTS AND WATER MAINS

SEDIMENTATION AND EROSION CONTROL NOTES:

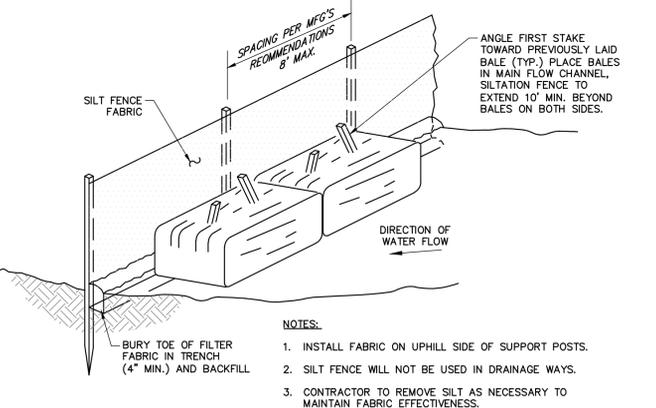
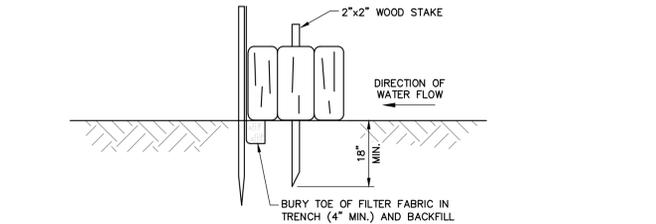
- 1. PROVIDE EROSION CONTROL MEASURES AS SHOWN ON DRAWINGS, OR AS DIRECTED BY ENGINEER.
2. ALL SOIL AND EROSION CONTROLS SHALL BE PLACED PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTRACTOR TO NOTIFY THE ENGINEER AND THE OWNER AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES. EROSION CONTROLS SHALL BE APPROVED BY CONSERVATION/LAND USE AGENT PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL EROSION CONTROL MEASURES NECESSARY TO PREVENT OFF-SITE TRACKING OF EARTH, SEDIMENT AND DEBRIS.
4. ALL SITE SOILS TO BE STOCKPILED SHALL BE SURROUNDED BY EROSION CONTROL BARRIERS COVERED.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED AT A MINIMUM FREQUENCY OF BIWEEKLY, AND DURING AND AFTER EVERY RAIN EVENT GREATER THAN 0.25". ANY NECESSARY REPLACEMENT OR REPAIR SHALL BE PERFORMED PROMPTLY BY THE CONTRACTOR.
6. DUST SHALL BE CONTROLLED AS NECESSARY. THE USE OF CALCIUM CHLORIDE FOR DUST CONTROL IS NOT ALLOWED.
7. NO DISTURBANCE OR STORAGE OF EQUIPMENT OR MATERIALS SHALL BE PERMITTED IN AREAS OTHER THAN AS SHOWN ON PLANS

SURVEY NOTES:

- 1. BASE SURVEY INFORMATION HAS BEEN PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS T-2 SURVEY PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INCORPORATED ON SEPTEMBER 26, 1996.
2. TYPE OF SURVEY: IMPROVEMENT LOCATION SURVEY BOUNDARY DETERMINATION CATEGORY: NONE
3. BENCH MARK INFORMATION: DERIVED FROM FROM "AS-BUILT SURVEY, THE GREENS AT CANTON A.K.A. THE SHOPPES AT FARMINGTON VALLEY, ROUTE 44, CANTON, CONNECTICUT, PROJECT #1091, SCALE 1"=100', NOVEMBER 16, 2009 BY W/S DEVELOPMENT."
4. ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD88)
5. CONTOUR INTERVAL EQUALS TWO (2) FEET.
6. UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL CALL-BEFORE-YOU-DIG AT 1-800-922-4455 FOR FIELD MARKOUT OF UTILITIES PRIOR TO EXCAVATION.

LEGEND
EXISTING
CONTOUR (1' OR 2' INTERVAL)
CONTOUR (INDEX)
SANITARY SEWER
FORCE MAIN
STORM DRAIN
UNDERDRAIN
WATER MAIN
UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE
UNDERGROUND TELEVISION
GAS LINE
OVERHEAD ELECTRIC
ABANDONED SEWER
ABANDONED WATER MAIN
PROPERTY LINE
RIGHT OF WAY
EASEMENT
EDGE OF VEGETATION
FENCE
CENTERLINE
RETAINING WALL
STONEWALL
CURB
EDGE OF PAVEMENT
EDGE OF GRAVEL
GUARDRAIL
RAILROAD TRACKS
DRAINAGE DITCH / SWALE
EROSION CONTROL
CONSTRUCTION FENCE
WETLAND FLAG W/ CORRESPONDING FLAG NO.
SANITARY SEWER MANHOLE
DRAIN MANHOLE
PROPERTY MONUMENT
SPOT ELEVATION
GATE VALVE
LIGHT POLE
UTILITY POLE
HYDRANT
STREET AND MISCELLANEOUS SIGNS
DECIDUOUS TREE/SHRUB
CONIFEROUS TREE/SHRUB
BORING (PLAN VIEW)
BORING (OFFSET PROFILE VIEW)

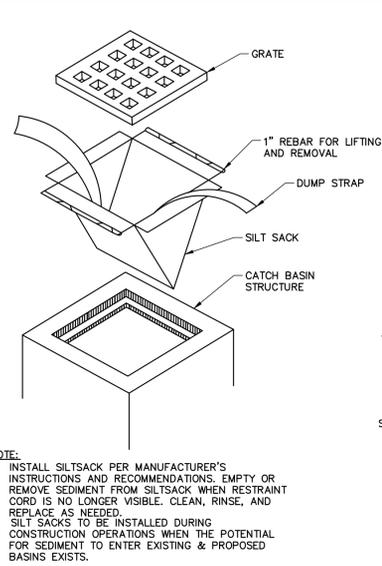
PROPOSED
CONTOUR (1' OR 2' INTERVAL)
CONTOUR (INDEX)
SANITARY SEWER
FORCE MAIN
STORM DRAIN
UNDERDRAIN
WATER MAIN
UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE
UNDERGROUND TELEVISION
GAS LINE
OVERHEAD ELECTRIC
ABANDONED SEWER
ABANDONED WATER MAIN
PROPERTY LINE
RIGHT OF WAY
EASEMENT
EDGE OF VEGETATION
FENCE
CENTERLINE
RETAINING WALL
STONEWALL
CURB
EDGE OF PAVEMENT
EDGE OF GRAVEL
GUARDRAIL
RAILROAD TRACKS
DRAINAGE DITCH / SWALE
EROSION CONTROL
CONSTRUCTION FENCE
WETLAND FLAG W/ CORRESPONDING FLAG NO.
SANITARY SEWER MANHOLE
DRAIN MANHOLE
PROPERTY MONUMENT
SPOT ELEVATION
GATE VALVE
LIGHT POLE
UTILITY POLE
HYDRANT
STREET AND MISCELLANEOUS SIGNS
DECIDUOUS TREE/SHRUB
CONIFEROUS TREE/SHRUB
BORING (PLAN VIEW)
BORING (OFFSET PROFILE VIEW)



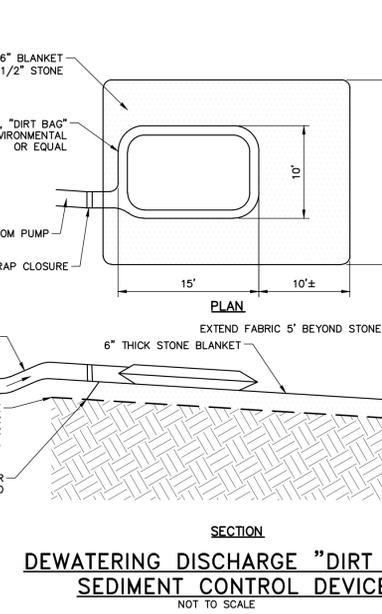
STRAW WATTLE EROSION CONTROL NOT TO SCALE
SILTATION FENCE/HAYBALE BARRIER NOT TO SCALE

ABBREVIATIONS\*

Table listing abbreviations and their full names, such as AGGR (AGGREGATE), ALUM (ALUMINUM), ANS (AMERICAN NATIONAL STANDARDS INSTITUTE), etc.



SILTSACK INLET NOT TO SCALE



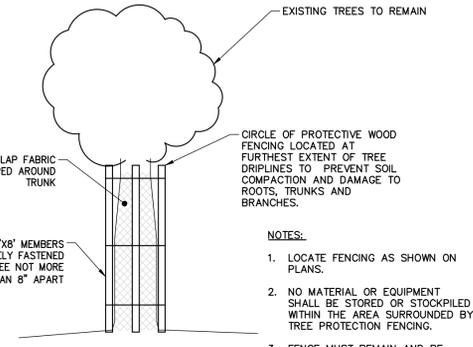
DEWATERING DISCHARGE "DIRT BAG" SEDIMENT CONTROL DEVICE NOT TO SCALE

TEMPORARY EROSION CONTROL:

Table with columns: Measure, Dates for use, Timing, Activity, and Location. Lists measures like Silt Sock, Temporary Seeding, Mulch, Erosion Control Blanket, and Inspections.

PERMANENT EROSION CONTROL:

Table with columns: Measure, Dates for use, Timing, Activity, and Location. Lists measures like Pavement - Base Course, Pavement - Final Course, and Permanent Seeding.

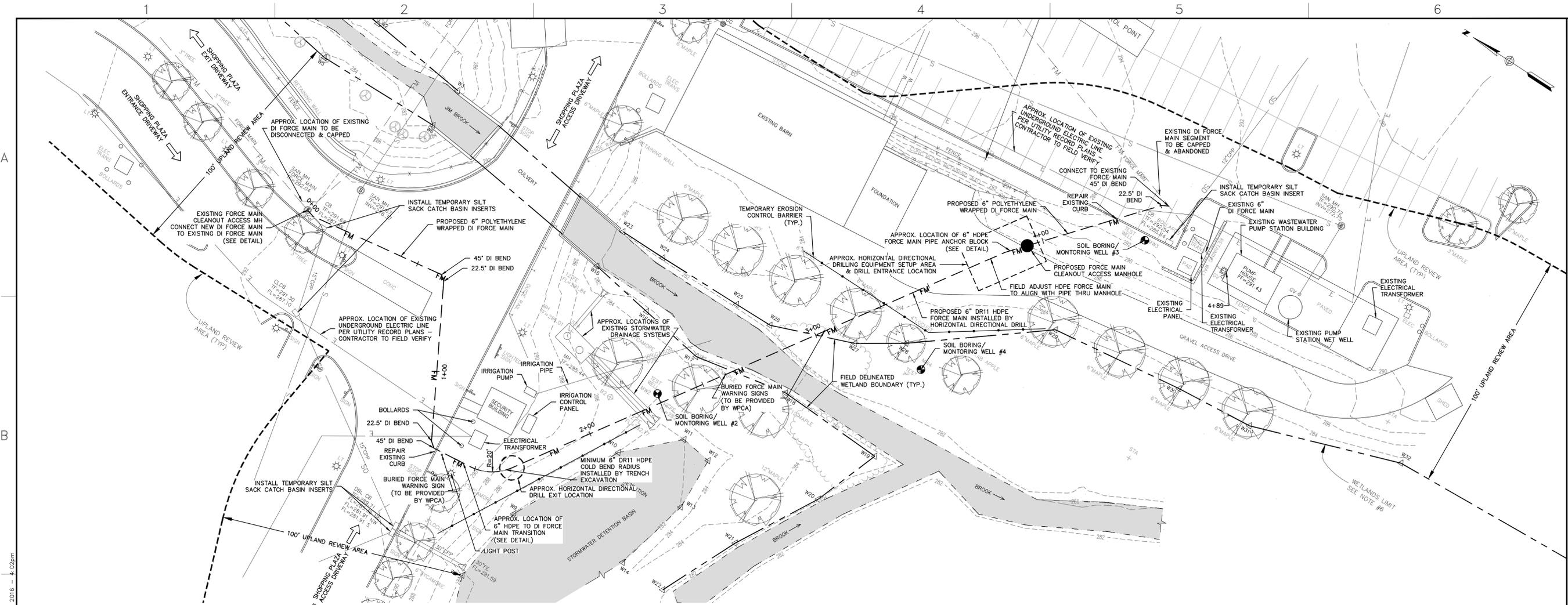


TREE PROTECTION NOT TO SCALE

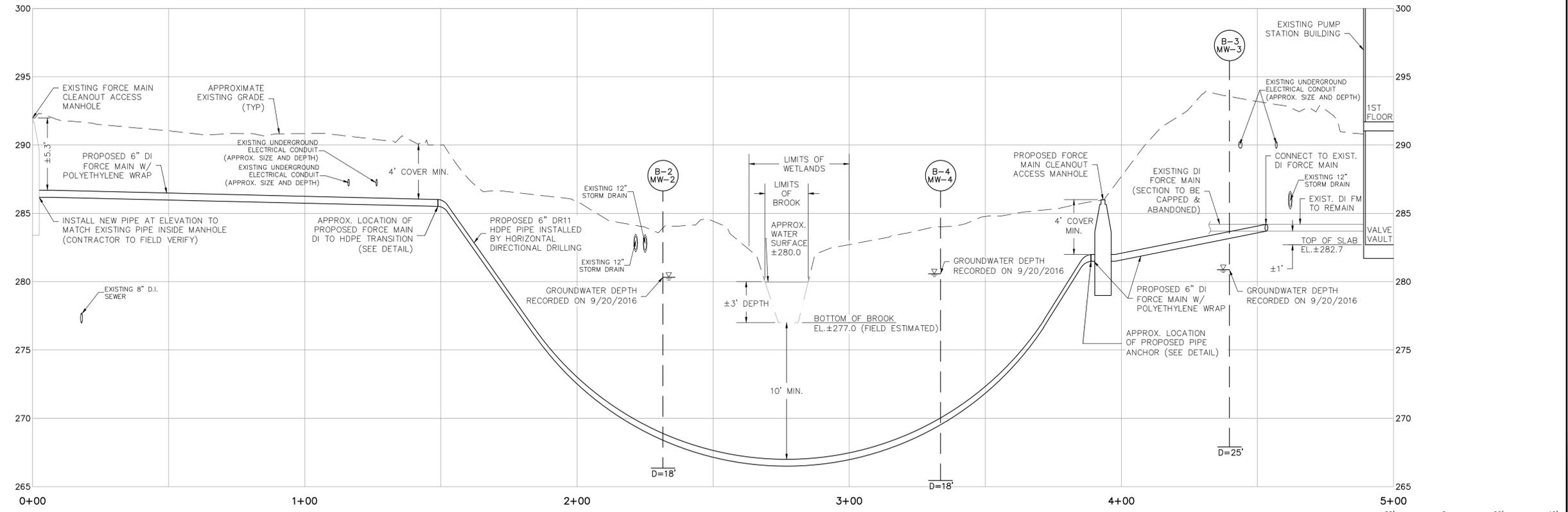
DEWATERING NOTES:

- 1. LOCATE DISCHARGE SITE ON FLAT UPLAND AREAS AS FAR AWAY AS POSSIBLE FROM STREAMS, WETLANDS, OTHER RESOURCES AND POINTS OF CONCENTRATED FLOW.
2. DISCHARGE NOT PERMITTED WITHIN 25' OF A STREAM OR WETLAND. CONSULT DEP IF STRUCTURE MUST BE WITHIN 75' OF STREAM OR WATER BODY. SECONDARY CONTAINMENT MAY BE REQUIRED.
3. DOWNGRADIENT RECEIVING AREA MUST BE WELL VEGETATED OR OTHERWISE STABLE FROM EROSION, I.E. FOREST FLOOR OR COARSE GRAVEL/STONE.
4. NEVER DISCHARGE TO AREAS THAT ARE BARE OR NEWLY VEGETATED.
5. DIRT BAG MATERIAL BASED ON PARTICLE SIZE IN DIRTY WATER, I.E., FOR COARSE PARTICLES A WOVEN MATERIAL; FOR SILTS/CLAYS A NON-WOVEN MATERIAL.
6. DO NOT OVER PRESSURIZE DIRT BAG OR USE BEYOND CAPACITY.
7. CHANNELS DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA NEED TO BE STABLE. IF FLOW VELOCITIES CAUSE EROSION WITHIN THE CHANNEL THEN A DITCH LINING SHOULD BE USED.
8. BUCKETED WATER SHOULD BE DISCHARGED IN A STABLE MANNER TO THE SEDIMENT REMOVAL AREA. A SPLASH PAD OF RIPER UNDERLAIN WITH GEOTEXTILE MAY BE NECESSARY TO PREVENT SCOURING OF SOIL.
9. DEWATERING IN PERIODS OF INTENSE, HEAVY RAIN, WHEN THE INFILTRATIVE CAPACITY OF THE SOIL IS EXCEEDED, SHOULD BE AVOIDED.
10. INSTALL DIVERSION DITCHES OR BERMS TO MINIMIZE THE AMOUNT OF CLEAN STORMWATER RUNOFF ALLOWED INTO THE EXCAVATED AREA.
11. DURING THE ACTIVE DEWATERING PROCESS, INSPECTION OF THE DEWATERING FACILITY SHOULD BE REVIEWED FREQUENTLY. SPECIAL ATTENTION SHOULD BE PAID TO THE BUFFER AREA FOR ANY SIGN OF EROSION AND CONCENTRATION OF FLOW THAT MAY COMPROMISE THE BUFFER AREA. OBSERVE WHERE POSSIBLE THE VISUAL QUALITY OF THE EFFLUENT AND DETERMINE IF ADDITIONAL TREATMENT CAN BE PROVIDED.

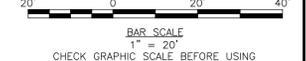
Vertical sidebar containing project information: 1699 King Street, Suite 406, Enfield, Connecticut 06092, 855.347.6788 | www.woodardcurran.com; WOODARD & CURRAN logo; COMMUNITY & INTEGRITY DRIVE RESULTS; PROJECT: THE SHOPPES AT FARMINGTON VALLEY SEWER FORCE MAIN REPLACEMENT; JOB NO.: 222479.62; DATE: OCTOBER 2016; SCALE: AS NOTED; SHEET: 1 OF 3; G-001.



PLAN - PROPOSED FORCE MAIN  
SCALE: 1" = 20'



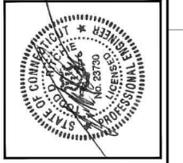
PROFILE STA. 0+00 TO STA. 5+00  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 4'



1699 King Street, Suite 406  
Esfield, Connecticut 06032  
855.347.6788 | www.woodardcurran.com

**WOODARD & CURRAN**  
COMMITMENT & INTEGRITY DRIVE RESULTS

THIS DOCUMENT IS THE PROPERTY OF WOODARD & CURRAN, INC. AND ITS CLIENT. REPRODUCTION OR MODIFICATION WITHOUT WRITTEN PERMISSION IS PROHIBITED.



REV	TO/FR	DATE	DESCRIPTION	CHECKED BY: PAD
0	TOR IMA SUBMISSION	10/27/16		22247962-C-100/06

DESIGNED BY: TOR, GA  
DRAWN BY: TOR, GA

**PROPOSED FORCE MAIN  
PLAN & PROFILE STA.  
0+00 TO 5+00**

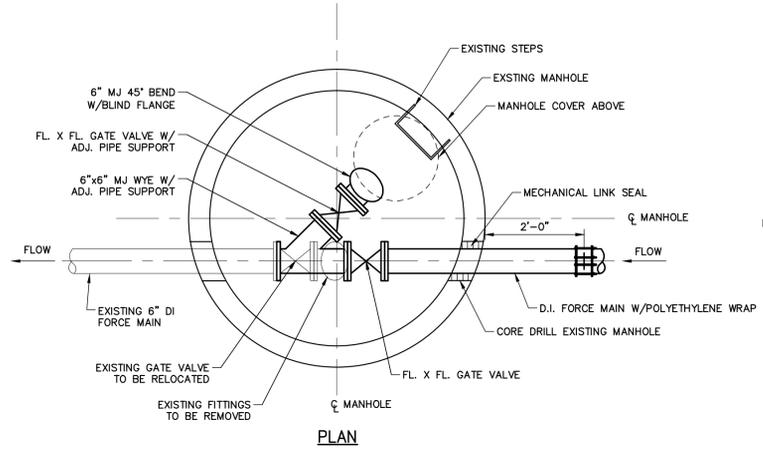
WATER POLLUTION CONTROL AUTHORITY  
TOWN OF CANTON, CONNECTICUT

THE SHOPPES AT FARMINGTON VALLEY  
SEWER FORCE MAIN REPLACEMENT

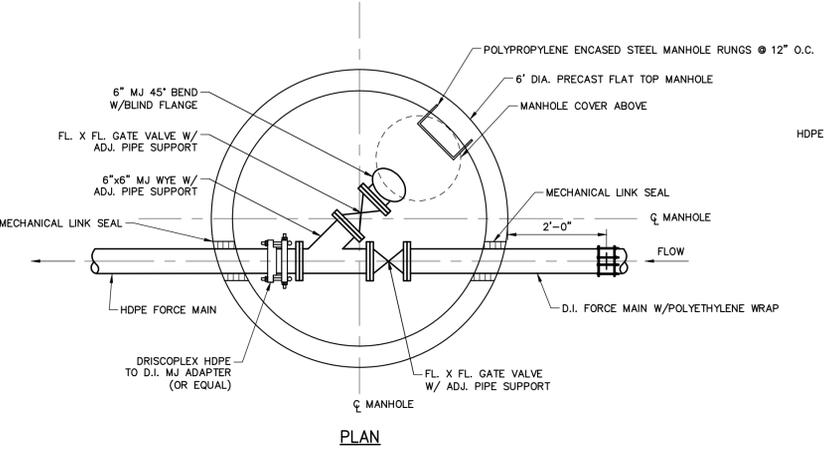
JOB NO.: 222479.62  
DATE: OCTOBER 2016  
SCALE: AS SHOWN  
SHEET: 2 OF 3

**C-100**

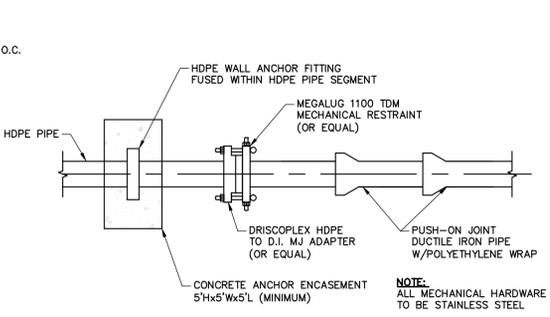
\\woodardcurran.net\shares\Projects\222479\_Canton\_WPCA-On\_Call\_Engineering\wpd\62 - Shoppes Force Main Design\Drawings\Civil\222479.62-C-100.dwg, Oct 04, 2016 - 4:02pm



PLAN

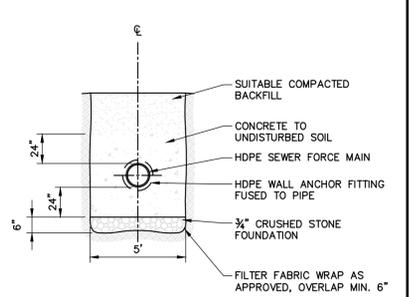


PLAN



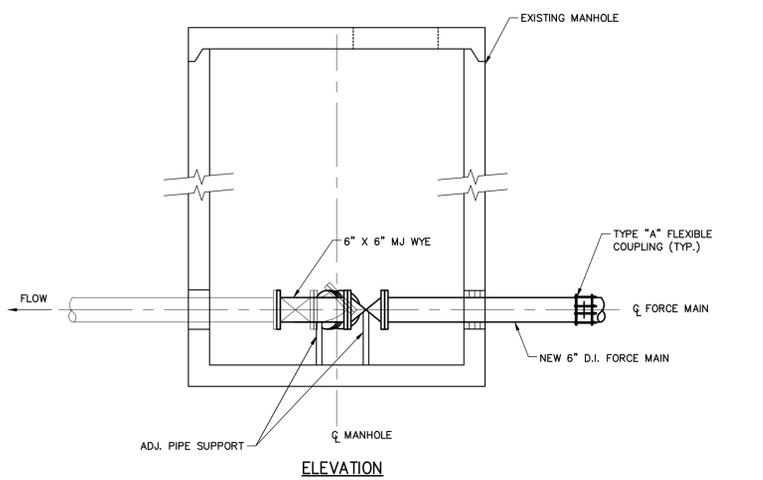
HDPE TO DUCTILE IRON PIPE CONNECTION

NOT TO SCALE



CONCRETE ENCASEMENT PIPE ANCHOR DETAIL

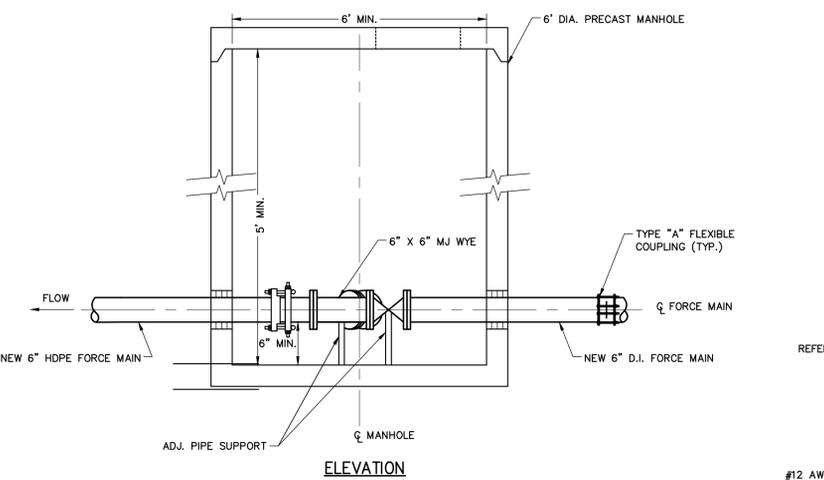
NOT TO SCALE



ELEVATION

EXISTING FORCE MAIN MANHOLE

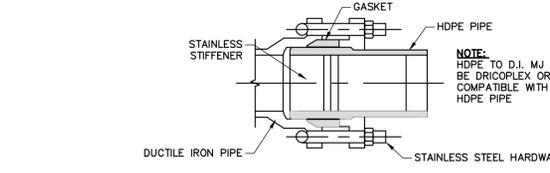
NOT TO SCALE



ELEVATION

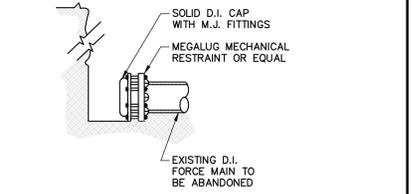
PROPOSED FORCE MAIN CLEANOUT MANHOLE

NOT TO SCALE



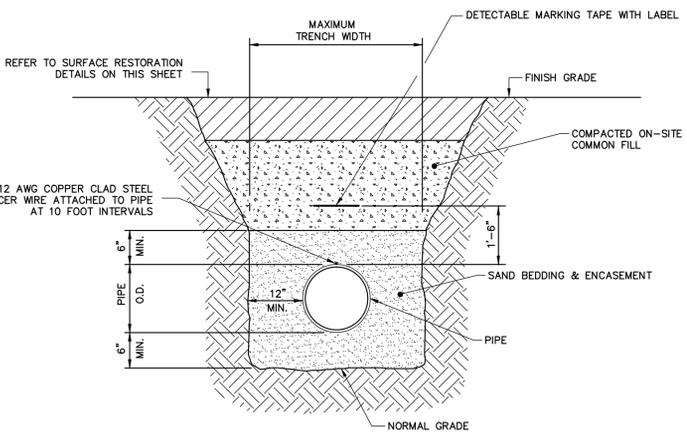
MECHANICAL JOINT ADAPTER CONNECTION

NOT TO SCALE



ABANDONED FORCE MAIN PIPE CAP DETAIL

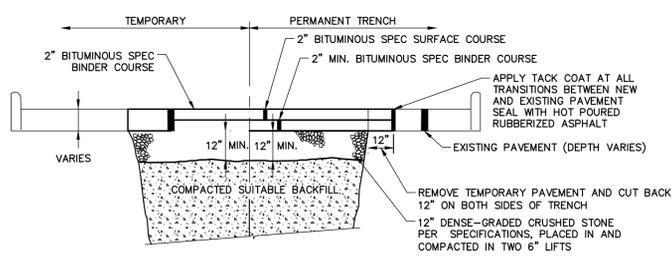
NOT TO SCALE



SEWER FORCE MAIN TRENCH DETAIL

N.T.S.

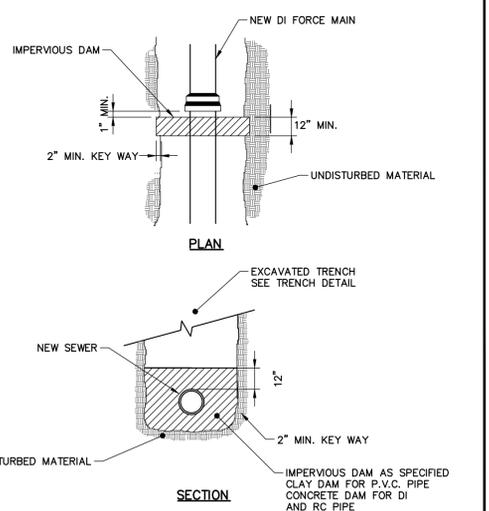
- NOTES:
1. MAINTAIN UNIFORM TRENCH WIDTH TO 6" OVER PIPE.
  2. SEE PAVEMENT DETAILS FOR PAVING AND PATCHING REQUIREMENTS. OPEN TRENCHES MUST BE PAVED AT THE END OF EACH WEEK.
  3. MAINTAIN MINIMUM OF 4'-0" FT. OF COVER OVER PIPE.
  4. IF EXCAVATION BELOW NORMAL GRADE IS REQUIRED, PROVIDE SHEETING 2' BELOW TRENCH BOTTOM. BACKFILL TRENCH FROM TRENCH BOTTOM TO NORMAL GRADE WITH COMPACTED GRAVEL (6" COMPACTED LIFTS).
  5. A 2" RIGID INSULATION WILL BE REQUIRED IN AREAS WHERE LESS THAN 4'-0" OF COVER OVER TOP OF PIPE OR WHERE REQUIRED BY ENGINEER.
  6. NO PAYMENT WILL BE MADE FOR SHEETING LEFT IN PLACE UNLESS DIRECTED BY ENGINEER.



- NOTES:
1. PERMANENT PAVEMENT THICKNESS SHALL EQUAL 4" OR MATCH EXISTING, WHICHEVER IS GREATER. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NEW TEMPORARY AND PERMANENT PAVEMENT THROUGHOUT THE DURATION OF THE PROJECT.

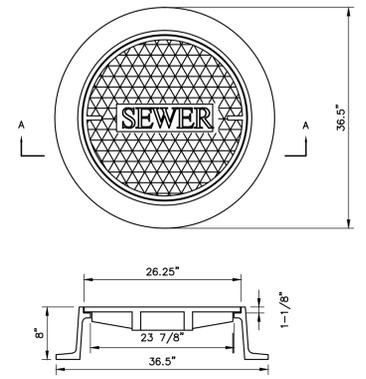
TEMPORARY AND PERMANENT TRENCH PAVEMENT

NOT TO SCALE



PIPE TRENCH DAM

NOT TO SCALE

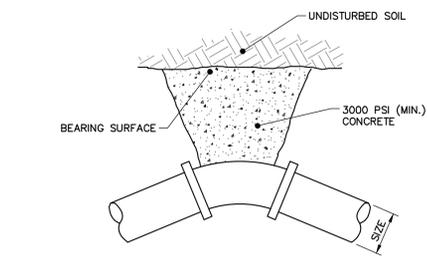


SECTION A-A

- NOTE:
1. FRAME AND COVER SHALL BE MARKED "SEWER."

MANHOLE FRAME & COVER

NOT TO SCALE

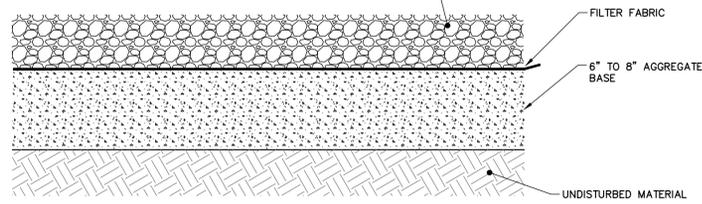


FORCE MAIN THRUST BLOCK INSTALLATIONS

NOT TO SCALE

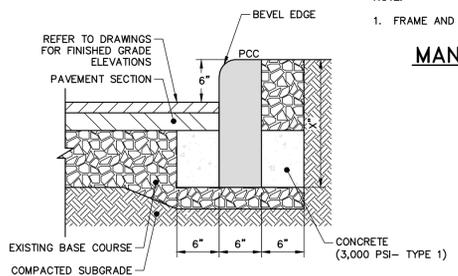
SIZE, IN	BEARING SURFACE, FT <sup>2</sup>		
	45"	22 1/2"	11 1/4"
2	1.0	1.0	1.0
3	1.0	1.0	1.0
4	1.0	1.0	1.0
6	1.4	1.0	1.0
8	2.5	1.4	1.0
10	3.9	2.0	1.0
12	5.9	3.0	1.5

- NOTES:
1. CONCRETE FOR ALL THRUST BLOCKS TO BE MINIMUM 3,000 PSI, 28 DAY STRENGTH, TYPE I CEMENT, 3/4" STONE.
  2. WHERE POSSIBLE, CONSTRUCT THRUST BLOCKS AGAINST UNDISTURBED SOIL. WHERE NOT POSSIBLE, PLACE FILL BETWEEN THE THRUST BLOCK AND THE UNDISTURBED SOIL COMPACTED TO 90% STANDARD PROCTOR DENSITY.
  3. WRAP FITTINGS WITH POLYETHYLENE PRIOR TO CONSTRUCTING THRUST BLOCKS. NO JOINTS SHALL BE COVERED WITH CONCRETE.



CRUSHED STONE PARKING AREA

NOT TO SCALE



PRECAST CONCRETE CURB (PCC)

NOT TO SCALE

1699 King Street, Suite 406  
Enfield, Connecticut 06082  
855.347.6788 | www.woodardcurran.com

WOODARD & CURRAN  
COMMITMENT & INTEGRITY DRIVE RESULTS

THIS DOCUMENT IS THE PROPERTY OF WOODARD & CURRAN, INC. AND ITS CLIENT. IT IS TO BE USED ONLY FOR THE PROJECT AND AT THE LOCATION SPECIFIED. REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS PROHIBITED.



NO.	DATE	DESCRIPTION	BY	DATE
0	10/4/16	FOR IMA SUBMISSION		
1				
2				
3				
4				
5				
6				
7				
8				
9				

CHECKED BY: PAD  
DRAWN BY: ZRATZ-C-0049

DETAILS

WATER POLLUTION CONTROL AUTHORITY  
TOWN OF CANTON, CONNECTICUT

THE SHOPPES AT FARMINGTON VALLEY  
SEWER FORCE MAIN REPLACEMENT

JOB NO.: 222479.62  
DATE: OCTOBER 2016  
SCALE: AS NOTED  
SHEET: 3 OF 3

C-500

woodardcurran.com\shared\Projects\222479\_Canton\_WPCA-On\_Coll\_Engineering\wp\61\_Shoppees Force Main Design\Drawings\Civil\222479.62-C-500.dwg, Oct 04, 2016 - 11:56pm



**DRAFT MINUTES**

Regular Meeting

Canton Inland Wetlands and Watercourses Agency

Thursday, September 8, 2016 at 7:00 pm

Library Community Center, Room F

40 Dyer Avenue, Canton, CT

**CALL TO ORDER** – The Regular Meeting of September 8, 2016 was called to order at 7:03 p.m.

**ROLL CALL** – Chairman David Shepard, Al Bombessei, Eric Henry (Alternate), David Rosenfeld (Alternate), David Sinish and Rich Van de Bogart

**ABSENT** – Robert Bahre

**ALSO PRESENT** – Assistant Town Planner Emily Anyzeski and Recording Secretary Jennifer Scott

E. Henry was seated as a Regular Member by D. Shepard.

A quorum of the agency is present.

**PUBLIC COMMENT NOT RELATED TO AGENDA ITEM** – None

**OLD BUSINESS** – None

**NEW BUSINESS**

1. **File #09-16-1143; 81 West Simsbury Road; Assessor's Map 8; Parcel 5630081; Zone R-3; Show Cause Hearing for Cease and Desist of all regulated activities on site; Iwona Kasica, owner**

Mr. Shepard disclosed that he received a phone call from Town staff regarding this item and was aware of some of the details before this evening's meeting. Iwona Kasica, owner and her husband Edward Kasica were in attendance for the discussion of this case. The members were presented with several photographs of the site; some were captured by Ms. Anyzeski and others by the property owner.

Ms. Anyzeski provided a quick history of the case for the members. She said that she was notified that there had been significant clearing at the property in question. She visited the site with the Town Building Inspector and confirmed that considerable clearing had taken place on the sides and at the rear of the property. Ms. Anyzeski presented aerials to the members which show a large swatch of state designated wetlands at the rear of the property. She added that the location of the house is within the 100' Upland Review Area surrounding the wetlands boundary. Ms. Anyzeski stated that from her observation, it appeared that clearing and filling had occurred in both the wetlands and Upland Review Area. Because the area is protected, these activities are regulated and require approval from herself and the IWWA.

Mr. Shepard informed the group that the basis of a Cease and Desist order is if work has been done that appears to violate wetlands regulations and no permit has been issued or if work is done in

51 violation of a permit. Mr. Shepard said that there is probable cause in this case that a violation has  
52 occurred as tree cutting and filling are both regulated activities in the wetlands and URA. He asked  
53 Ms. Kasica for her input on the situation.  
54

55 Ms. Kasica advised that they had taken out some dead trees around her home and others were  
56 removed at the request of her homeowner's insurance company. She said that she was not aware  
57 her property was in a wetlands area or that she had done anything wrong until she received the  
58 violation letter. Ms. Kasica stated that they cleared most of the property on their own with some help  
59 from family. Mr. Kasica added that friends of theirs did come out with a boom truck to help remove  
60 some of the bigger trees in the front. Mr. Shepard commented that there is no excuse for a  
61 professional to not have ensured regulatory compliance before performing any outdoor work of this  
62 kind.  
63

64 Mr. Shepard explained that wetlands are defined as a poorly drained or very poorly drained soil type.  
65 He continued saying that the Wetlands and Watercourses Act was passed because the legislature  
66 made the determination that wetlands and watercourses are a public resource. Doing work in close  
67 proximity to them can put loose soils, considered to be a type of pollution, into brooks, streams, etc.  
68 He said that there are certain ways to perform work to protect the public resource. He explained that  
69 tree cutting and changing the grade of the ground by filling can redirect water from the course it would  
70 naturally move. This could cause fairly significant change or disruption to a public resource. He said  
71 that he sought to educate the owners on the potential impacts of the work they have already done  
72 and the work they plan to do down the road. He said that he doesn't disagree that there may have  
73 been a need to take the trees down, but they should have filed an application and gotten approval  
74 from the Town before doing so. He stated that the site is now what they consider "open" because  
75 trees that were once there drawing water are gone, there is no grass growing to hold the soil, and the  
76 grade has been changed making them uncertain where water will go. Mr. Shepard said that an order  
77 in this case would not have the intention of being punitive. He said that there is an "open" site that is  
78 sloped and something has to be done to tighten it up.  
79

80 After Mr. Shepard asked for the other members' thoughts, Mr. Sinish said he is very dismayed by the  
81 activities performed on the property. While he understands the homeowner's ignorance to the laws,  
82 he believes a professional should have been aware. He said that with an "open" site, any  
83 precipitation could cause erosion. The members were in agreement that something has to be done to  
84 protect the site so that the soil does not runoff into a watercourse or a roadway. They determined  
85 that the owner must submit an application with the Town for the work they have completed already.  
86 They also discussed different possibilities for how to stabilize the site including seeding and/or  
87 hydroseeding for grass and placing hay bales or silt fencing as a temporary sediment control device.  
88

89 Mr. Kasica provided some additional details about the work that was performed at the property. He  
90 stated that they leveled and raked the front so they could create a decent driveway and yard. He  
91 discussed the types of trees that were removed including several large trees on the sides of the  
92 house that were safety concerns, some large pines in the front and one large ash tree in the back.  
93 He explained that the fall of the land is from east to west with it being relatively steep along the back  
94 towards the wetlands.  
95

96 The group discussed the current driveway at the property. Mr. Kasica said that there is a cut in the  
97 road and an apron but there is no gravel. He said that it is basically soil compacted down by a car. It  
98 being a state road, Ms. Anyzeski recommended that the owner's inquire if they would need a  
99 driveway bond before moving forward with constructing a driveway.  
100

101 Mr. Shepard said that the members are trying to get an understanding of the property so they can ask  
102 the homeowner to take reasonable action to stabilize it. Mr. Kasica advised the members of a sloped  
103 area in the back yard where they had placed some large boulders in order to prevent erosion. He  
104 said they would like to add more boulders in order to further secure the land. Mr. Shepard explained  
105 that this would essentially be leveling the land which is a regulated activity in the wetlands and URA.

106 He advised that the agency is especially cautious of any work completed in such close proximity to  
107 the wetland boundary. He proposed seeding the area instead while their application is reviewed.  
108

109 Mr. Shepard explained that the IWWA could issue a Cease and Correct order in this case that would  
110 demand corrective measures be taken to stabilize the site now while the owner's full application for  
111 the work that has been done and the work sought to be done is pending. The group discussed which  
112 areas of the yard are most at risk. Mr. and Ms. Kasica informed the members of the steps they've  
113 already taken to try and prevent erosion on the property including hay bales, wood chips and using  
114 large boulders as fill. Ms. Kasica added that they left the roots to the large pines they took down in  
115 the ground. The members discussed some options to reasonably stabilize the site within the next 30  
116 days before winter and the potential for snow approaches. They discussed the benefits and  
117 drawbacks of hiring a contractor to hydroseed the property. While it would get a lot of grass up  
118 quickly to hold the yard together, there is the possibility of contractor delays. In addition, the owner  
119 has already purchased a specific type of grass seed for the front yard that she had intended on  
120 planting soon anyway. Mr. Kasica stated that he has experience planting grass and he knows how to  
121 get it growing quickly. The homeowner would like to do the seeding and they believe it would be  
122 done faster and have a better result than hydroseeding. The group discussed the possibility of wood  
123 chipping the whole front yard, installing additional hay bales in the back yard, installing a perimeter of  
124 hay bales, putting up silt fencing, and seeding the back yard. Ms. Kasica expressed concern that  
125 grass may not grow in the back because of the rock filled terrain.  
126

127 The members noted that they can already see channeling and erosion starting to occur on the  
128 property from the photographs presented. They discussed where seeding in the back would need to  
129 occur and where exactly additional hay bales should be placed. Once the hay bales are placed, Ms.  
130 Anyzeski can go out and verify they are in the right spot and determine if they should be staked.  
131

132 It was recommended that the homeowner come up with a solid plan before completing their  
133 application for future improvements and consider hiring professionals to assist them so that the work  
134 is done properly.  
135

136 **MOTION:** D. Shepard moved that for File#09-16-1143; 81 West Simsbury Road; Assessor's Map 8;  
137 Parcel 5630081; Zone R-3; Show Cause Hearing for Cease and Desist of all regulated activities on site;  
138 Iwona Kasica, owner be continued and modified in the following ways:  
139

- 140 1. Owner is directed to have the front yard seeded for grass within 72 hours of this meeting.
- 141 2. Owner is directed in the back yard to place a line of hay bales at the toe of the slope that was  
142 created from the terrace.
- 143 3. Owner is directed to have the back yard seeded for grass within 72 hours after the expiration of  
144 the deadline to seed the front yard, or within 6 days of this meeting.
- 145 4. Owner is directed to file an application with the Town for the regulated work already completed  
146 and for any additional regulated work they intend on completing moving forward.
- 147 5. Upon placing the hay bales, Owner is directed to notify the Land Use office for inspection the  
148 same day.  
149

150 D. Sinish seconded the motion. The motion passed unanimously, 5-0-0.  
151

## 152 **OTHER BUSINESS**

### 153 **1. Approve Minutes of July 14, 2016 Regular Meeting**

154 **MOTION:** D. Shepard moved to approve the minutes of the July 14, 2016 Regular Meeting as amended.  
155

156 E. Henry seconded the motion. The motion passed, 3-0-2 with R. Van de Bogart and D. Sinish abstaining.  
157

### 158 **2. Applications Received After Agenda Posted - None**

### 159 **3. Authorized Agent** 160 161

162  
163 **File #08-16-1142AA**; 60 Secret Lake Rd; Assessor's Map 36; Parcel 4670060; Zone R-1;  
164 Construction of a deck in the front yard of a single family home within the Upland Review Area; Jeff  
165 Dunbar, applicant/owner  
166

167 Ms. Anyzeski reported that she received an application through the Zoning Department for the  
168 construction of a deck at 60 Secret Lake Road. In her role as Zoning Enforcement Officer, she pulled  
169 the map for the property and noticed that there are wetlands located about 80' from the edge of the  
170 proposed deck to the rear of the site. She said that the deck will be about 15-18' long and within the  
171 Upland Review Area. The front yard where the deck will be constructed is flat and down hill from the  
172 URA and the property slopes upwards in the back yard. She said it was her determination that as  
173 long as the materials and equipment are stored outside the URA, she did not consider the  
174 construction of the deck to be a significant threat to the area. The members were presented with  
175 photos of the property taken by Ms. Anyzeski on her recent visit to the site.  
176

#### 177 **4. Any Other Recent Enforcement Issues**

178

179 Ms. Anyzeski reported that she had just learned about a large retaining wall that was installed at a  
180 property on West Simsbury Road. She said she has not had an opportunity yet to visit the site, but  
181 believes the address is 360 West Simsbury Road. She stated that she had heard from a member of  
182 the PZC that the wall is approximately 9' or 10' tall which could mean possible building, zoning, and  
183 wetlands issues. She said that she believes the Building Department would be the first to take  
184 enforcement action but wanted to inform the IWWA members that this may be an item that comes  
185 before them as well.  
186

187 Mr. Sinish requested an update on an item from their July meeting about a complaint that was  
188 received at DEEP stating that a generator had been running non-stop at 32 Cherry Brook Road. The  
189 complainant had concerns that water from the home was being pumped into the Cherry Brook. Ms.  
190 Anyzeski said that she called the property owner who stated that they were having some electrical  
191 issues at their home which was the reason that they had the generator running for days. Ms.  
192 Anyzeski reported that the Building Inspector went to the site and confirmed the electrical issues and  
193 no other complaints have been received since then. She said that she believes this matter has been  
194 fully resolved.  
195

196 Mr. Henry requested an update on the application at 115 Wright Road to replace an existing driveway  
197 culvert. Ms. Anyzeski said that one of the agency members was contracted to perform the work and  
198 he ensured that all of the conditions to the approval were properly met in a very timely manner.  
199

#### 200 **5. Staff Report**

201

##### 202 **a) Procedural Safety Guidelines**

203

204 Ms. Anyzeski said that she will include this as an agenda item as a reminder to the members to  
205 bring forth any suggestions for editing the regulations. Mr. Shepard said his inclination is not to  
206 hold a public hearing to change the regulations for just one item. His preference would be to wait  
207 until they have multiple changes being requested.  
208

##### 209 **b) Farm Roads Non-Exemption**

210

211 Ms. Anyzeski reported that the Supreme Court of CT has made a decision that farm roads are no  
212 longer exempt from the wetlands procedures. Previously, if a farm road was being used strictly  
213 for agricultural purposes you would not necessarily need a wetlands permit for it. She said that  
214 this is no longer the case to the apparent disappointment of many people.  
215

##### 216 **c) Army Corps General Permit Revisions**

217

218 Ms. Anyzeski said that the US Army Corps of Engineers replaced and revised the General Permit  
219 in July 2016. It will be reissued for 5 years effective in 2021. She said she does not believe  
220 much of it is applicable to Canton but wanted to make the members aware.

221  
222 **d) Bond release at 690-708 Cherry Brook Road**

223  
224 Ms. Anyzeski reported that they have received a request from the property owner of 708 Cherry  
225 Brook Road, Jerry Miller, to release a subdivision bond from 1993. She said that they are finding  
226 a lot of discrepancies with his request. Mr. Miller is stating that it is a wetlands agency bond from  
227 1993 while the Town's files reference a Planning Commission bond from 1999. She said that  
228 they need clarification from Mr. Miller because what he is requesting does not appear to exist. In  
229 the event Mr. Miller has some documentation that the Town does not have, this matter may come  
230 before the IWWA. If it does, the agency would need to approve the release of the bond totaling  
231 approximately \$29,000. She said that her understanding is that the bond is being requested but  
232 not all of the conditions have been met.

233  
234 **e) Chairman Signature for Statewide Inland Wetlands and Watercourses Activity Reporting**  
235 **Requirements**

236  
237 Ms. Anyzeski explained that because of an error made in the Land Use office, the proper forms  
238 that supplement the wetlands applications have not been being submitted to DEEP. As a result,  
239 DEEP has requested that the Chairman provide his signature as proof that the IWWA has in fact  
240 processed applications in the past year.

241  
242 Mr. Shepard asked if there are any updates regarding the latest farm road controversy. Ms. Anyzeski  
243 replied that the Board of Selectmen agenda will be posted tomorrow that should answer a lot of  
244 questions.

245  
246 Mr. Shepard reported that a meeting took place on Wednesday, September 7<sup>th</sup> where members from all  
247 of the various Town boards come together. He said that he was not able to attend but that his  
248 understanding was that the purpose of the meeting was for reporting compliance with the Plan of  
249 Conservation and Development. He said that the POCD does not particularly apply to the IWWA. Ms.  
250 Anyzeski said that she did attend the meeting and provided a quick overview of what was discussed. She  
251 said if anyone is interested in the outcome, the recording of the meeting should be up the Town's website.

252  
253 **ADJOURNMENT**

254  
255 **MOTION:** D. Shepard moved to adjourn the Regular Meeting at 9:15 pm. A. Sinish seconded. The motion  
256 passed unanimously, 5-0-0.

257  
258 Respectfully Submitted,  
259 Jennifer Scott, Recording Secretary

260